



Town of Chebeague Island

Earnest,

Chair of the Select Board

From: Viktoria G. Wood, Town Administrator

Date: March 28, 2024

RE: Town Administrators Report

Audit Workshop- Last meeting the Board asked me to follow up with the town auditor, RHR Smith & Co, and ask for a meeting to discuss the Audit and how it is laid out. The auditor recommended having a Financial Statement Workshop. They can do this after April 15th. At this point, I would recommend that the board hold a workshop with the Auditors in line with the new Board orientation the current board has discussed having after the June election.

Bennetts Cove Update- Last meeting the board directed me to contact Rob Wood, from DEP. Rob Wood will come to the island on Monday, April 8th. A decision that the board needs to make is how this meeting will be held.

Committee Openings- There are several openings on the town committee. Currently the Board of Adjustment and Appeals only has 3 members. This board needs 2 members. If there is interest in participating, please see the office staff. The board had a busy year so it would be nice for them to have additional help.

Nomination papers- The following nomination papers are available at the town office:

School Board: Two 3-year terms

Selectboard: Two 3- year terms

One 2-year term.

Anyone who takes papers out needs to have them back in the office April 10th.

Right of Way to Shore Discussion- On Friday, March 22, CEO, Public Works, and I went to East Shore and South Shore Drive. With the assistance of the CEO, PW received directions on what type of temporary repair can be done at East Shore Drive.

South Shore Drive is far more complex due to its height and is out of scope for the town crew. I have started acquiring information for companies who are familiar with that work to bring to board. On March 28, 2024, I received a communication from Art Ryder who has been the voice for the South Shore Drive, and they have done a lot, receiving estimates and companies who are familiar with the work. I plan to have a more in-depth discussion to better understand their information. This will be an agenda item for discussion soon.

January 2024 Storms-FEMA Relief- On March 20th, President Biden granted a Major Disaster Declaration for the State of Maine triggering the release of Federal fund to help individuals and communities to recover from the storms that occurred January 9-13, 2024. The town is adding any information as we receive it. All of it could be found on the town website under

"About the Town" -FEMA Disaster Relief January 2024. There is information on how to apply for assistance post storms and where people can turn to for help. As for the town specific damage, we do not yet have a lot of information about what will happen next. There will be a lot of work expected from the town leading up to any financial assistance. A FEMA representative will be visiting the island on Monday, April 1. I will update the board with any added information at the meeting if I receive it.

Exp / Rev Summary Report

ALL Departments
March

Account	Budget	Current Month	Year To Date	Balance	Percent
1300 Admn/Select					
REVENUES					
302 AGENT FEE	5,000.00	210.00	3,107.00	1,893.00	62.14
303 EXCISE TAX	119,000.00	5,384.47	83,487.28	35,512.72	70.16
304 BOAT EXCISE	8,000.00	598.10	3,063.80	4,936.20	38.30
305 INT & PEN	4,500.00	270.48	10,489.99	-5,989.99	233.11
307 LIEN COST	0.00	23.12	322.26	-322.26	0.00
308 ABATEMENTS	0.00	-58.40	-23,599.44	23,599.44	0.00
311 HUNT&FISH	0.00	0.00	12.00	-12.00	0.00
312 MARRIAGE LIC	0.00	0.00	36.00	-36.00	0.00
315 CLERK LIC	0.00	0.00	20.00	-20.00	0.00
316 SHELLFSH LIC	1,500.00	35.00	795.00	705.00	53.00
325 SUPP TAX	0.00	0.00	335.70	-335.70	0.00
326 TAX COMMIT	3,225,695.00	0.00	3,264,893.67	-39,198.67	101.22
327 HOMEST REIMB	0.00	0.00	32,694.00	-32,694.00	0.00
328 VETERAN EXEM	0.00	0.00	50.00	-50.00	0.00
330 TREE GROWTH	0.00	0.00	1,071.27	-1,071.27	0.00
331 REV SHARING	36,731.00	1,098.52	29,122.10	7,608.90	79.28
332 BETE REIMB	0.00	0.00	121.00	-121.00	0.00
351 POLICE FINES	0.00	423.80	2,319.00	-2,319.00	0.00
364 GROWTH PERM	0.00	0.00	200.00	-200.00	0.00
365 BD APPEALS	0.00	200.00	650.00	-650.00	0.00
366 BLDG PERMITS	15,000.00	620.00	12,717.30	2,282.70	84.78
367 ELEC PERMITS	1,500.00	245.00	2,831.89	-1,331.89	188.79
368 PLUMB PRMITS	2,500.00	450.00	2,195.00	305.00	87.80
369 OTHER PERMIT	500.00	690.00	690.00	-190.00	138.00
378 EDUC-AID	73,343.00	0.00	91,294.57	-17,951.57	124.48
379 INT INCOME	0.00	0.00	17,497.59	-17,497.59	0.00
390 MISC REVENUE	0.00	0.00	46.85	-46.85	0.00
395 UF TRANSFER	200,000.00	0.00	0.00	200,000.00	0.00
401 DOG REVENUE	0.00	140.00	321.00	-321.00	0.00
403 MOORING FEES	7,200.00	0.00	4,960.00	2,240.00	68.89
411 DOT REV URIP	14,880.00	0.00	17,160.00	-2,280.00	115.32
418 CI S/WASTE	26,000.00	4,064.00	24,479.60	1,520.40	94.15
500 RENT MOORING	500.00	0.00	1,050.00	-550.00	210.00
501 ST/WHF PMT	8,600.00	0.00	1,308.00	7,292.00	15.21
502 TRANS TIEFEE	2,000.00	0.00	3,175.58	-1,175.58	158.78
511 CTC ESC BLOT	0.00	0.00	2,000.00	-2,000.00	0.00
512 Copy Fee Rev	0.00	0.00	258.40	-258.40	0.00
Revenue Total	3,752,449.00	14,394.09	3,591,176.41	161,272.59	95.70
EXPENSES					
1000 Wages - F/T	167,523.00	18,082.63	149,681.45	17,841.55	89.35
1010 Wages - P/T	29,960.00	1,608.21	16,074.94	13,885.06	53.65
1110 Elected Off.	6,000.00	0.00	2,400.00	3,600.00	40.00
1300 Bank Fees	300.00	0.00	124.85	175.15	41.62
2010 Gasoline	1,000.00	92.09	475.00	525.00	47.50
2030 Telephone	3,200.00	75.00	2,432.04	767.96	76.00
2040 Internet	0.00	0.00	0.00	0.00	0.00
2041 Technology	31,236.00	1,800.46	29,338.97	1,897.03	93.93
3010 Advertising	900.00	0.00	368.00	532.00	40.89
3140 Member Dues	3,700.00	0.00	3,707.64	-7.64	100.21
3160 Misc. Exp.	450.00	0.00	0.00	450.00	0.00
3202 Janitorial	250.00	78.46	640.46	-390.46	256.18
3210 Postage	2,000.00	0.00	1,480.95	519.05	74.05
3220 Printing	1,800.00	142.43	1,569.13	230.87	87.17
3250 Reg of Deeds	500.00	190.00	190.00	310.00	38.00

Exp / Rev Summary Report

ALL Departments
March

Account	Budget	Current Month	Year To Date	Balance	Percent
300 Admn/Select CONT'D					
3300 Office Supp.	4,000.00	954.48	4,393.30	-393.30	109.83
3335 Travel	3,000.00	28.00	2,795.62	204.38	93.19
3405 Hall Rental	4,000.00	0.00	2,000.00	2,000.00	50.00
4000 Bldg Maint	500.00	473.58	1,312.07	-812.07	262.41
4010 Equip Rental	1,000.00	61.17	600.98	399.02	60.10
5000 Contr. Svcs	5,000.00	599.85	3,456.56	1,543.44	69.13
5010 Auditing	17,250.00	2,750.00	21,350.00	-4,100.00	123.77
5240 Training	1,500.00	213.96	880.39	619.61	58.69
Expense Total	285,069.00	27,150.32	245,272.35	39,796.65	86.04
Net Profit / (Loss)	3,467,380.00	(12,756.23)	3,345,904.06	(121,475.94)	
400 Assessor					
EXPENSES					
3250 Reg of Deeds	250.00	11.00	99.00	151.00	39.60
3390 Assess Maps	1,800.00	0.00	0.00	1,800.00	0.00
5000 Contr. Svcs	12,600.00	0.00	5,200.00	7,400.00	41.27
Expense Total	14,650.00	11.00	5,299.00	9,351.00	36.17
Net Profit / (Loss)	(14,650.00)	(11.00)	(5,299.00)	9,351.00	
650 Elect/Bd Reg					
EXPENSES					
1010 Wages - P/T	1,000.00	588.89	1,029.89	-29.89	102.99
Expense Total	1,000.00	588.89	1,029.89	-29.89	102.99
Net Profit / (Loss)	(1,000.00)	(588.89)	(1,029.89)	(29.89)	
700 Planning					
EXPENSES					
1070 G.I.S.	0.00	0.00	550.00	-550.00	0.00
3010 Advertising	200.00	0.00	0.00	200.00	0.00
3210 Postage	100.00	0.00	0.00	100.00	0.00
3240 Publications	50.00	0.00	0.00	50.00	0.00
5090 Cont. Serv.	3,000.00	0.00	0.00	3,000.00	0.00
5240 Training	175.00	0.00	0.00	175.00	0.00
Expense Total	3,525.00	0.00	550.00	2,975.00	15.60
Net Profit / (Loss)	(3,525.00)	0.00	(550.00)	2,975.00	
900 Legal Svcs					
EXPENSES					
5540 Gen. Admin.	23,000.00	1,743.75	9,287.75	13,712.25	40.38
Expense Total	23,000.00	1,743.75	9,287.75	13,712.25	40.38
Net Profit / (Loss)	(23,000.00)	(1,743.75)	(9,287.75)	13,712.25	
2100 Law Enf Svcs					
EXPENSES					
1010 Wages - P/T	8,653.00	561.60	5,398.18	3,254.82	62.39
2010 Gasoline	1,400.00	0.00	787.72	612.28	56.27
3335 Travel	1,300.00	0.00	970.90	329.10	74.68
5000 Contr. Svcs	45,382.00	0.00	44,896.53	485.47	98.93

Exp / Rev Summary Report

ALL Departments
March

Account	Budget	Current Month	Year To Date	Balance	Percent
Expense Total	56,735.00	561.60	52,053.33	4,681.67	91.75
Net Profit / (Loss)	(56,735.00)	(561.60)	(52,053.33)	4,681.67	

2200 Fire Rescue

EXPENSES

1010 Wages - P/T	74,028.00	560.00	45,228.14	28,799.86	61.10
2000 Electricity	3,000.00	0.00	155.43	2,844.57	5.18
2010 Gasoline	750.00	0.00	179.75	570.25	23.97
2020 Heating Fuel	5,500.00	1,356.99	7,906.00	-2,406.00	143.75
2030 Telephone	2,100.00	25.00	1,563.35	536.65	74.45
2041 Technology	2,500.00	0.00	1,844.69	655.31	73.79
2080 Diesel	550.00	0.00	150.90	399.10	27.44
3040 Equip Maint	15,000.00	255.83	15,641.55	-641.55	104.28
3140 Member Dues	1,300.00	0.00	0.00	1,300.00	0.00
3200 F/R Supplies	5,500.00	341.17	7,113.72	-1,613.72	129.34
3202 Janitorial	65.00	0.00	15.98	49.02	24.58
3300 Office Supp.	0.00	0.00	185.67	-185.67	0.00
3335 Travel	2,000.00	0.00	353.52	1,646.48	17.68
3350 Uniforms	250.00	-2,846.22	-2,846.22	3,096.22	-1138.49
4000 Bldg Maint	4,000.00	315.00	2,341.09	1,658.91	58.53
5000 Contr. Svcs	13,200.00	40.01	8,410.15	4,789.85	63.71
5240 Training	7,000.00	0.00	3,970.16	3,029.84	56.72
6110 Radio/Tele	7,500.00	218.49	6,800.57	699.43	90.67
6230 Apparel/Gear	1,500.00	0.00	3,296.22	-1,796.22	219.75
Expense Total	145,743.00	266.27	102,310.67	43,432.33	70.20
Net Profit / (Loss)	(145,743.00)	(266.27)	(102,310.67)	43,432.33	

2400 Code Enf.

EXPENSES

1010 Wages - P/T	40,000.00	3,250.00	27,155.00	12,845.00	67.89
5240 Training	255.00	0.00	0.00	255.00	0.00
Expense Total	40,255.00	3,250.00	27,155.00	13,100.00	67.46
Net Profit / (Loss)	(40,255.00)	(3,250.00)	(27,155.00)	13,100.00	

2500 Harbor Shell

EXPENSES

1010 Wages - P/T	27,592.00	980.47	19,967.10	7,624.90	72.37
2010 Gasoline	600.00	0.00	93.44	506.56	15.57
2030 Telephone	300.00	25.00	225.00	75.00	75.00
2040 Internet	0.00	0.00	313.00	-313.00	0.00
2041 Technology	1,085.00	0.00	1,850.00	-765.00	170.51
3120 Marine Supp	500.00	0.00	278.00	222.00	55.60
3140 Member Dues	150.00	0.00	0.00	150.00	0.00
3350 Uniforms	150.00	0.00	0.00	150.00	0.00
5240 Training	750.00	0.00	0.00	750.00	0.00
Expense Total	31,127.00	1,005.47	22,726.54	8,400.46	73.01
Net Profit / (Loss)	(31,127.00)	(1,005.47)	(22,726.54)	8,400.46	

2600 Animal Cont.

EXPENSES

1010 Wages - P/T	3,200.00	800.00	2,400.00	800.00	75.00
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Exp / Rev Summary Report

ALL Departments
March

Account	Budget	Current Month	Year To Date	Balance	Percent
1600 Animal Cont. CONT'D					
2030 Telephone	300.00	25.00	225.00	75.00	75.00
3160 Misc. Exp.	100.00	0.00	35.00	65.00	35.00
3290 Shelter	500.00	141.57	566.28	-66.28	113.26
3350 Uniforms	150.00	0.00	0.00	150.00	0.00
5240 Training	600.00	0.00	0.00	600.00	0.00
Expense Total	4,850.00	966.57	3,226.28	1,623.72	66.52
Net Profit / (Loss)	(4,850.00)	(966.57)	(3,226.28)	1,623.72	

1100 Public Svcs

EXPENSES

1000 Wages - F/T	96,388.00	7,414.41	70,461.13	25,926.87	73.10
1010 Wages - P/T	3,500.00	0.00	450.50	3,049.50	12.87
1020 Overtime	5,000.00	218.43	1,618.48	3,381.52	32.37
2000 Electricity	2,000.00	31.91	249.63	1,750.37	12.48
2010 Gasoline	3,000.00	0.00	1,585.30	1,414.70	52.84
2020 Heating Fuel	3,200.00	960.98	3,697.58	-497.58	115.55
2030 Telephone	1,000.00	50.00	882.70	117.30	88.27
2041 Technology	2,500.00	0.00	1,537.69	962.31	61.51
2080 Diesel	8,000.00	-241.08	8,660.90	-660.90	108.26
3040 Equip Maint	17,000.00	119.38	11,897.34	5,102.66	69.98
3120 Marine Supp	3,000.00	0.00	0.00	3,000.00	0.00
3202 Janitorial	100.00	0.00	0.00	100.00	0.00
3300 Office Supp.	200.00	57.88	466.19	-266.19	233.10
3335 Travel	2,800.00	0.00	2,452.40	347.60	87.59
3350 Uniforms	800.00	0.00	786.59	13.41	98.32
4000 Bldg Maint	2,000.00	0.00	1,781.94	218.06	89.10
4600 Cold Patch	2,500.00	2,346.80	2,914.80	-414.80	116.59
4605 Culv/Drain	1,000.00	0.00	0.00	1,000.00	0.00
4630 Road Matls	15,000.00	540.00	1,572.00	13,428.00	10.48
4640 Sand & Salt	8,000.00	1,543.95	4,857.42	3,142.58	60.72
5000 Contr. Svcs	5,000.00	0.00	189.00	4,811.00	3.78
5020 Barging	16,000.00	3,528.00	9,364.50	6,635.50	58.53
5230 Pave Marking	100.00	0.00	0.00	100.00	0.00
5240 Training	500.00	0.00	0.00	500.00	0.00
6010 Tools	2,500.00	0.00	854.99	1,645.01	34.20
6120 Safety Equip	500.00	0.00	0.00	500.00	0.00
Expense Total	201,588.00	16,570.66	126,281.08	75,306.92	62.64
Net Profit / (Loss)	(201,588.00)	(16,570.66)	(126,281.08)	75,306.92	

1200 Solid Waste

EXPENSES

1010 Wages - P/T	41,055.00	2,049.76	22,461.78	18,593.22	54.71
2000 Electricity	1,100.00	31.91	249.63	850.37	22.69
2030 Telephone	580.00	0.00	404.62	175.38	69.76
3040 Equip Maint	2,000.00	410.00	2,099.47	-99.47	104.97
3202 Janitorial	400.00	15.50	860.98	-460.98	215.25
3350 Uniforms	250.00	159.83	159.83	90.17	63.93
4000 Bldg Maint	750.00	0.00	0.00	750.00	0.00
4655 Chipping Bru	22,582.00	0.00	22,760.00	-178.00	100.79
5020 Barging	47,000.00	6,580.00	37,410.00	9,590.00	79.60
5110 Hauling	85,000.00	4,667.10	51,261.68	33,738.32	60.31

Exp / Rev Summary Report

ALL Departments
March

Account	Budget	Current Month	Year To Date	Balance	Percent
3200 Solid Waste CONT'D					
5120 Landfill Mon	576.00	0.00	595.00	-19.00	103.30
5130 Haz Waste	6,000.00	0.00	207.93	5,792.07	3.47
5240 Training	650.00	148.88	455.90	194.10	70.14
5251 Sanitation	3,500.00	0.00	1,150.00	2,350.00	32.86
Expense Total	211,443.00	14,062.98	140,076.82	71,366.18	66.25
Net Profit / (Loss)	(211,443.00)	(14,062.98)	(140,076.82)	71,366.18	
4400 Misc-Mainlnd					
EXPENSES					
9110 ..	23,897.00	0.00	23,897.00	0.00	100.00
Expense Total	23,897.00	0.00	23,897.00	0.00	100.00
Net Profit / (Loss)	(23,897.00)	0.00	(23,897.00)	(0.00)	
4600 Contribution					
EXPENSES					
3150 Library	25,000.00	19,250.00	31,750.00	-6,750.00	127.00
3151 Comm Center	38,500.00	0.00	19,250.00	19,250.00	50.00
3164 VNA	1,000.00	0.00	1,000.00	0.00	100.00
3166 Isl. Council	7,000.00	0.00	7,000.00	0.00	100.00
3167 Recreation	59,500.00	0.00	29,750.00	29,750.00	50.00
3168 CRC-Kids Pla	20,000.00	0.00	10,000.00	10,000.00	50.00
3169 Island Comm	10,000.00	0.00	10,000.00	0.00	100.00
Expense Total	161,000.00	19,250.00	108,750.00	52,250.00	67.55
Net Profit / (Loss)	(161,000.00)	(19,250.00)	(108,750.00)	52,250.00	
5810 Genl Assista					
EXPENSES					
3160 Misc. Exp.	500.00	0.00	0.00	500.00	0.00
Expense Total	500.00	0.00	0.00	500.00	0.00
Net Profit / (Loss)	(500.00)	0.00	0.00	500.00	
5910 Health Svcs					
EXPENSES					
1010 Wages - P/T	2,000.00	500.00	1,500.00	500.00	75.00
Expense Total	2,000.00	500.00	1,500.00	500.00	75.00
Net Profit / (Loss)	(2,000.00)	(500.00)	(1,500.00)	500.00	
6200 Cemetery					
EXPENSES					
1010 Wages - P/T	6,350.00	0.00	3,734.65	2,615.35	58.81
2010 Gasoline	250.00	0.00	135.44	114.56	54.18
3040 Equip Maint	500.00	0.00	11.99	488.01	2.40
3140 Member Dues	50.00	0.00	0.00	50.00	0.00
3163 Cemetery Gen	600.00	0.00	150.18	449.82	25.03
5000 Contr. Svcs	6,000.00	1,750.00	1,750.00	4,250.00	29.17
5240 Training	150.00	0.00	200.00	-50.00	133.33
Expense Total	13,900.00	1,750.00	5,982.26	7,917.74	43.04
Net Profit / (Loss)	(13,900.00)	(1,750.00)	(5,982.26)	7,917.74	

Exp / Rev Summary Report

ALL Departments

March

Account	Budget	Current Month	Year To Date	Balance	Percent
900 Debt Service					
EXPENSES					
6500 MBB Interest	15,728.00	0.00	0.00	15,728.00	0.00
6510 MBBPrincipal	177,178.00	0.00	177,178.00	0.00	100.00
6511 MMBSchInt	35,027.00	17,122.14	35,026.72	0.28	100.00
6512 MMBSchPrin	80,250.00	0.00	80,250.00	0.00	100.00
6516 PlowTrkInter	902.00	416.43	902.10	-0.10	100.01
6517 PlowTrkPrinc	20,667.00	0.00	20,666.67	0.33	100.00
6520 MMBrdbdInt	46,261.00	18,622.05	31,181.52	15,079.48	67.40
6521 MMBrdbdPrinc	12,500.00	0.00	12,500.00	0.00	100.00
6550 MMBDrdgeInt	8,408.00	3,837.50	8,408.33	-0.33	100.00
6551 MMBDrdgePrin	41,667.00	0.00	41,666.67	0.33	100.00
Expense Total	438,588.00	39,998.12	407,780.01	30,807.99	92.98
Net Profit / (Loss)	(438,588.00)	(39,998.12)	(407,780.01)	30,807.99	

7500 Benef/Insur.					
EXPENSES					
1210 Health/Life	103,703.00	-1,849.38	75,325.94	28,377.06	72.64
1220 FICA / MED	38,971.00	2,642.37	26,469.54	12,501.46	67.92
1230 ICMA-Retire	12,675.00	660.92	5,672.81	7,002.19	44.76
1270 Unemployment	2,500.00	0.00	2,257.50	242.50	90.30
1280 Workers Comp	14,000.00	15,036.00	16,521.90	-2,521.90	118.01
3060 Liabil. Ins	22,542.00	0.00	34,804.00	-12,262.00	154.40
Expense Total	194,391.00	16,489.91	161,051.69	33,339.31	82.85
Net Profit / (Loss)	(194,391.00)	(16,489.91)	(161,051.69)	33,339.31	

3000 School					
REVENUES					
800 Ed Lunch Fee	5,000.00	63.13	7,065.69	-2,065.69	141.31
805 Sch UF Trans	20,000.00	0.00	0.00	20,000.00	0.00
807 Misc Sch Rev	0.00	0.00	391.00	-391.00	0.00
Revenue Total	25,000.00	63.13	7,456.69	17,543.31	29.83
EXPENSES					
8101 Sup. Sal	0.00	0.00	1,285.44	-1,285.44	0.00
8102 Sec. Sal	0.00	0.00	652.83	-652.83	0.00
8103 Health Ins	0.00	0.00	913.38	-913.38	0.00
8104 FICA/Med	0.00	0.00	107.37	-107.37	0.00
8107 Conf/Train	0.00	0.00	0.00	0.00	0.00
8110 Comm/Phone	0.00	0.00	0.00	0.00	0.00
8111 Postage	0.00	0.00	0.00	0.00	0.00
8112 Advertising	0.00	0.00	0.00	0.00	0.00
8113 Printing	0.00	0.00	0.00	0.00	0.00
8114 Copier Sup	0.00	0.00	0.00	0.00	0.00
8119 Legal	0.00	0.00	0.00	0.00	0.00
8121 Dues&Fees	0.00	0.00	0.00	0.00	0.00
8122 Misc	0.00	0.00	45.21	-45.21	0.00
8201 Admin Sal	0.00	0.00	0.00	0.00	0.00
8202 Secr. Sal	0.00	0.00	0.00	0.00	0.00
8203 Health Ins	0.00	0.00	913.38	-913.38	0.00
8204 FICA/Med	0.00	0.00	0.00	0.00	0.00

Exp / Rev Summary Report

ALL Departments
March

Account	Budget	Current Month	Year To Date	Balance	Percent
8000 School CONT'D					
8210 Supplies	0.00	0.00	0.00	0.00	0.00
8213 Dues & Fees	0.00	0.00	0.00	0.00	0.00
8300 Pre-K Prog.	0.00	0.00	0.00	0.00	0.00
8301 K-2 Tch Sal	0.00	0.00	0.00	0.00	0.00
8302 3-5 Tch Sal	0.00	0.00	0.00	0.00	0.00
8303 Ed-TechSal	0.00	0.00	0.00	0.00	0.00
8305 Healt Ins	0.00	0.00	913.38	-913.38	0.00
8306 FICA/Med	0.00	0.00	0.00	0.00	0.00
8310 GenSupplies	0.00	0.00	0.00	0.00	0.00
8312 Books & Per	0.00	0.00	0.00	0.00	0.00
8318 MS Tuition	0.00	0.00	0.00	0.00	0.00
8319 Second Tuit	0.00	0.00	0.00	0.00	0.00
8402 OtherProServ	0.00	0.00	0.00	0.00	0.00
8404 Tech Equip	0.00	0.00	0.00	0.00	0.00
8406 Software	0.00	0.00	0.00	0.00	0.00
8408 Reg Stipnd	0.00	0.00	0.00	0.00	0.00
8501 Teach Sal	0.00	0.00	0.00	0.00	0.00
8502 FICA/Med	0.00	0.00	0.00	0.00	0.00
8503 Ed Tech	0.00	0.00	0.00	0.00	0.00
8505 Test Score	0.00	0.00	0.00	0.00	0.00
8506 OtherProServ	0.00	0.00	0.00	0.00	0.00
8507 ExtYr Prog	0.00	0.00	0.00	0.00	0.00
8509 TestSupplies	0.00	0.00	0.00	0.00	0.00
8515 Healt Ins	0.00	0.00	0.00	0.00	0.00
8601 Reg Sal	0.00	0.00	0.00	0.00	0.00
8602 Health Ins	0.00	0.00	456.69	-456.69	0.00
8603 FICA/Med	0.00	0.00	0.00	0.00	0.00
8607 OthrContract	0.00	0.00	-350.00	350.00	0.00
8608 Repair&Maint	0.00	0.00	0.00	0.00	0.00
8611 Insurance	0.00	0.00	0.00	0.00	0.00
8613 Electricity	0.00	0.00	62.41	-62.41	0.00
8617 Cont Serv	0.00	0.00	0.00	0.00	0.00
8701 Salaries	0.00	0.00	0.00	0.00	0.00
8703 Health Ins	0.00	0.00	913.38	-913.38	0.00
8704 FICA/Med	0.00	0.00	0.00	0.00	0.00
8707 PurProf.Serv	0.00	0.00	0.00	0.00	0.00
8708 Repairs	0.00	0.00	0.00	0.00	0.00
8711 Fuel	0.00	0.00	0.00	0.00	0.00
8801 Reg Sal	0.00	0.00	-1,826.76	1,826.76	0.00
8802 Health Ins	0.00	0.00	456.69	-456.69	0.00
8803 FICA/Med	0.00	0.00	0.00	0.00	0.00
8805 OthrContServ	0.00	0.00	0.00	0.00	0.00
8806 Supplies	0.00	0.00	0.00	0.00	0.00
8807 Contingency	10,000.00	0.00	0.00	10,000.00	0.00
8900 Debt Service	134,364.00	0.00	134,363.73	0.27	100.00
Expense Total	144,364.00	0.00	138,907.13	5,456.87	96.22
Net Profit / (Loss)	(119,364.00)	63.13	(131,450.44)	(12,086.44)	

8001 System Admin

EXPENSES

8101 Sup. Sal	33,422.00	2,570.88	23,137.92	10,284.08	69.23
8102 Sec. Sal	13,759.00	1,321.87	8,806.92	4,952.08	64.01

Exp / Rev Summary Report

ALL Departments
March

Account	Budget	Current Month	Year To Date	Balance	Percent
3001 System Admin CONT'D					
8103 Health Ins	10,963.00	913.38	7,307.04	3,655.96	66.65
8104 FICA/Med	2,800.00	215.99	1,766.33	1,033.67	63.08
8106 Work Comp	3,000.00	0.00	0.00	3,000.00	0.00
8107 Conf/Train	1,500.00	0.00	245.00	1,255.00	16.33
8110 Comm/Phone	2,800.00	244.58	2,106.46	693.54	75.23
8111 Postage	500.00	210.78	602.39	-102.39	120.48
8112 Advertising	400.00	33.00	594.17	-194.17	148.54
8113 Printing	1,200.00	0.00	498.81	701.19	41.57
8114 Copier Sup	300.00	14.33	269.07	30.93	89.69
8115 Equip/Softwre	100.00	0.00	0.00	100.00	0.00
8116 Travel	100.00	0.00	0.00	100.00	0.00
8117 Stipends	1,200.00	0.00	0.00	1,200.00	0.00
8118 FICA	92.00	0.00	0.00	92.00	0.00
8119 Legal	5,000.00	257.92	1,113.32	3,886.68	22.27
8120 Ins	3,000.00	0.00	0.00	3,000.00	0.00
8121 Dues&Fees	500.00	23.60	524.37	-24.37	104.87
8122 Misc	500.00	0.00	0.00	500.00	0.00
8124 Unem Comp	800.00	0.00	657.04	142.96	82.13
Expense Total	81,936.00	5,806.33	47,628.84	34,307.16	58.13
Net Profit / (Loss)	(81,936.00)	(5,806.33)	(47,628.84)	34,307.16	

3002 School Admin

EXPENSES

8201 Admin Sal	33,422.00	2,570.88	24,423.36	8,998.64	73.08
8202 Secr. Sal	13,759.00	1,321.86	9,460.02	4,298.98	68.76
8203 Health Ins	10,963.00	913.38	7,307.04	3,655.96	66.65
8204 FICA/Med	2,800.00	215.99	1,873.79	926.21	66.92
8207 Conferences	500.00	0.00	0.00	500.00	0.00
8208 Postage	100.00	0.00	0.00	100.00	0.00
8209 Printing	1,000.00	0.00	100.44	899.56	10.04
8210 Supplies	300.00	0.00	287.48	12.52	95.83
8211 Copy Supp	200.00	9.65	16.38	183.62	8.19
8212 Eq. Repair	250.00	0.00	0.00	250.00	0.00
8213 Dues & Fees	900.00	0.00	425.00	475.00	47.22
Expense Total	64,194.00	5,031.76	43,893.51	20,300.49	68.38
Net Profit / (Loss)	(64,194.00)	(5,031.76)	(43,893.51)	20,300.49	

3003 Elementary

EXPENSES

8300 Pre-K Prog.	35,663.00	5,791.76	43,438.20	-7,775.20	121.80
8301 K-2 Tch Sal	62,931.00	7,985.12	62,176.47	754.53	98.80
8302 3-5 Tch Sal	77,311.00	923.54	8,692.29	68,618.71	11.24
8303 Ed-TechSal	28,407.00	2,614.50	18,463.00	9,944.00	64.99
8304 Temp Sal	2,000.00	0.00	0.00	2,000.00	0.00
8305 Healt Ins	43,847.00	2,740.14	14,614.08	29,232.92	33.33
8306 FICA/Med	11,000.00	956.92	8,608.67	2,391.33	78.26
8309 AssessmtTest	500.00	0.00	0.00	500.00	0.00
8310 GenSupplies	5,000.00	151.12	2,695.27	2,304.73	53.91
8311 Travel Reimb	750.00	0.00	0.00	750.00	0.00
8312 Books & Per	1,500.00	0.00	510.05	989.95	34.00
8313 AudioVisual	500.00	0.00	440.00	60.00	88.00

Exp / Rev Summary Report

ALL Departments
March

Account	Budget	Current Month	Year To Date	Balance	Percent
8003 Elementary CONT'D					
8314 Equip.	250.00	0.00	0.00	250.00	0.00
8316 Copy Lease	500.00	0.00	80.59	419.41	16.12
8318 MS Tuition	87,303.00	31,082.11	67,686.25	19,616.75	77.53
8319 Second Tuit	214,617.00	119,351.39	243,947.86	-29,330.86	113.67
Expense Total	572,079.00	171,596.60	471,352.73	100,726.27	82.39
Net Profit / (Loss)	(572,079.00)	(171,596.60)	(471,352.73)	100,726.27	

8004 Support

EXPENSES

8401 CourseReimb	6,200.00	0.00	0.00	6,200.00	0.00
8402 OtherProServ	2,000.00	0.00	-200.00	2,200.00	-10.00
8403 OthrProfSvcs	4,000.00	0.00	4,000.00	0.00	100.00
8404 Tech Equip	500.00	0.00	198.56	301.44	39.71
8405 OtherPurServ	1,000.00	2.99	744.96	255.04	74.50
8406 Software	250.00	0.00	28.97	221.03	11.59
8407 Repair	500.00	0.00	0.00	500.00	0.00
8408 Reg Stipnd	12,000.00	0.00	5,700.00	6,300.00	47.50
8409 FICA/Med	550.00	0.00	0.00	550.00	0.00
8413 Supplies	500.00	0.00	144.83	355.17	28.97
8414 Books & Per	100.00	0.00	0.00	100.00	0.00
8415 Reg Sal	500.00	0.00	0.00	500.00	0.00
8419 Supplies	100.00	0.00	76.55	23.45	76.55
Expense Total	28,200.00	2.99	10,693.87	17,506.13	37.92
Net Profit / (Loss)	(28,200.00)	(2.99)	(10,693.87)	17,506.13	

8005 SPED

EXPENSES

8501 Teach Sal	31,963.00	5,562.50	-490.18	32,453.18	-1.53
8502 FICA/Med	4,200.00	97.41	580.75	3,619.25	13.83
8503 Ed Tech	0.00	0.00	7,064.96	-7,064.96	0.00
8504 Worker Comp	500.00	0.00	0.00	500.00	0.00
8505 Test Score	0.00	0.00	867.68	-867.68	0.00
8506 OtherProServ	45,550.00	2,600.00	77,047.29	-31,497.29	169.15
8507 ExtYr Prog	7,530.00	0.00	1,721.25	5,808.75	22.86
8508 Supplies	250.00	0.00	179.95	70.05	71.98
8509 TestSupplies	250.00	0.00	1,502.00	-1,252.00	600.80
8510 Books & Per	100.00	0.00	0.00	100.00	0.00
8515 Healt Ins	10,963.00	0.00	867.68	10,095.32	7.91
8517 SPED Trans.	0.00	0.00	29,978.74	-29,978.74	0.00
8518 SpEd MSTuit	58,275.00	0.00	0.00	58,275.00	0.00
8519 SpEd SecTuit	2,500.00	0.00	0.00	2,500.00	0.00
Expense Total	162,081.00	8,259.91	119,320.12	42,760.88	73.62
Net Profit / (Loss)	(162,081.00)	(8,259.91)	(119,320.12)	42,760.88	

8006 Maintenance

EXPENSES

8601 Reg Sal	16,603.00	929.19	10,519.78	6,083.22	63.36
8602 Health Ins	5,482.00	456.69	3,653.52	1,828.48	66.65
8603 FICA/Med	1,050.00	71.08	1,193.45	-143.45	113.66
8606 Conferences	500.00	159.48	199.48	300.52	39.90

Exp / Rev Summary Report

ALL Departments

March

Account	Budget	Current Month	Year To Date	Balance	Percent
3006 Maintenance CONT'D					
8607 OthrContract	10,000.00	785.00	9,662.37	337.63	96.62
8608 Repair&Maint	7,500.00	0.00	14,729.91	-7,229.91	196.40
8609 Rent CIRC Bl	8,000.00	0.00	8,000.00	0.00	100.00
8611 Insurance	2,500.00	0.00	2,785.00	-285.00	111.40
8612 Supplies	2,500.00	0.00	204.47	2,295.53	8.18
8613 Electricity	4,500.00	249.49	405.30	4,094.70	9.01
8614 Fuel Oil	4,200.00	659.86	4,410.05	-210.05	105.00
8617 Cont Serv	7,500.00	0.00	550.00	6,950.00	7.33
Expense Total	70,335.00	3,310.79	56,313.33	14,021.67	80.06
Net Profit / (Loss)	(70,335.00)	(3,310.79)	(56,313.33)	14,021.67	

3007 Transport

EXPENSES

8701 Salaries	25,155.00	2,597.77	19,778.37	5,376.63	78.63
8702 Sub Salaries	500.00	0.00	0.00	500.00	0.00
8703 Health Ins	10,963.00	913.38	7,307.04	3,655.96	66.65
8704 FICA/Med	1,900.00	142.06	1,117.48	782.52	58.81
8707 PurProf.Serv	64,500.00	977.35	51,592.42	12,907.58	79.99
8708 Repairs	12,000.00	0.00	7,119.66	4,880.34	59.33
8709 Auto Ins	3,000.00	0.00	0.00	3,000.00	0.00
8711 Fuel	5,000.00	75.92	2,598.50	2,401.50	51.97
Expense Total	123,018.00	4,706.48	89,513.47	33,504.53	72.76
Net Profit / (Loss)	(123,018.00)	(4,706.48)	(89,513.47)	33,504.53	

3008 Food Service

EXPENSES

8612 Supplies	0.00	31.83	31.83	-31.83	0.00
8801 Reg Sal	21,155.00	1,233.83	11,819.48	9,335.52	55.87
8802 Health Ins	5,482.00	456.69	5,480.28	1.72	99.97
8803 FICA/Med	1,600.00	94.38	893.85	706.15	55.87
8805 OthrContServ	1,500.00	0.00	1,807.56	-307.56	120.50
8806 Supplies	7,000.00	407.46	6,306.08	693.92	90.09
Expense Total	36,737.00	2,224.19	26,339.08	10,397.92	71.70
Net Profit / (Loss)	(36,737.00)	(2,224.19)	(26,339.08)	10,397.92	

3100 Street Light

EXPENSES

2000 Electricity	8,400.00	775.61	6,502.79	1,897.21	77.41
Expense Total	8,400.00	775.61	6,502.79	1,897.21	77.41
Net Profit / (Loss)	(8,400.00)	(775.61)	(6,502.79)	1,897.21	

3300 Contingency

EXPENSES

3160 Misc. Exp.	14,000.00	0.00	0.00	14,000.00	0.00
Expense Total	14,000.00	0.00	0.00	14,000.00	0.00
Net Profit / (Loss)	(14,000.00)	0.00	0.00	14,000.00	

3800 Out Isl tax

Exp / Rev Summary Report

ALL Departments
March

Account	Budget	Current Month	Year To Date	Balance	Percent
8800 Out Isl tax CONT'D					
EXPENSES					
0001 Out Isl Tax	48,048.00	0.00	22,947.68	25,100.32	47.76
Expense Total	48,048.00	0.00	22,947.68	25,100.32	47.76
Net Profit / (Loss)	(48,048.00)	0.00	(22,947.68)	25,100.32	
8900 County Tax					
EXPENSES					
3050 County Tax	216,527.00	0.00	216,527.00	0.00	100.00
Expense Total	216,527.00	0.00	216,527.00	0.00	100.00
Net Profit / (Loss)	(216,527.00)	0.00	(216,527.00)	(0.00)	
9000 Capital Impr					
EXPENSES					
9010 Dredging	80,000.00	0.00	0.00	80,000.00	0.00
9015 Stone Wharf	100,000.00	0.00	0.00	100,000.00	0.00
9016 Barge Ramps	20,000.00	0.00	0.00	20,000.00	0.00
9020 Floats/Ramps	5,000.00	0.00	0.00	5,000.00	0.00
9025 Fire Dept	70,000.00	0.00	0.00	70,000.00	0.00
9030 Bldg Facilit	20,000.00	0.00	0.00	20,000.00	0.00
9031 Town Office	10,000.00	0.00	0.00	10,000.00	0.00
9032 Land Acquis	10,000.00	0.00	0.00	10,000.00	0.00
9033 Solar Array	15,000.00	0.00	0.00	15,000.00	0.00
9035 Vehicle Res	5,000.00	0.00	0.00	5,000.00	0.00
9040 Grant Match	20,000.00	0.00	0.00	20,000.00	0.00
9050 Paving	25,000.00	0.00	0.00	25,000.00	0.00
9055 PW Equip	25,000.00	0.00	0.00	25,000.00	0.00
9057 Transfer Sta	1,000.00	0.00	0.00	1,000.00	0.00
9070 Coastal Fund	10,000.00	0.00	0.00	10,000.00	0.00
Expense Total	416,000.00	0.00	0.00	416,000.00	0.00
Net Profit / (Loss)	(416,000.00)	0.00	0.00	416,000.00	





Town of Chebeague Island
 For Period Ending: February 29, 2024
 Date Prepared: March 1, 2024

Project/Fund Name	Balance	Deposits	Withdrawals	Total	Interest	Ending Balance
					1.75%	
					\$2,484.44	
9197 School Capital Reserve	\$ 66,096.23			\$ 66,096.23	\$ 93.05	\$ 66,189.28
9130 School special Education Reserve	\$ 144,608.37			\$ 144,608.37	\$ 203.59	\$ 144,811.96
9131 School Transportation Reserve	\$ 51,028.91			\$ 51,028.91	\$ 71.85	\$ 51,100.76
9132 School Tuition Reserve	\$ 84,608.09			\$ 84,608.09	\$ 119.11	\$ 84,727.20
9133 School Playground	\$ 7,405.65			\$ 7,405.65	\$ 10.43	\$ 7,416.08
9012 Fire Pond	\$ 4,931.22			\$ 4,931.22	\$ 6.95	\$ 4,941.17
9025 Fire Department	\$ 147,181.43			\$ 147,181.43	\$ 207.21	\$ 147,388.64
9060 Harbor Master Vessel & Equip.	\$ 6,658.73			\$ 6,658.73	\$ 9.37	\$ 6,668.10
9192 Rescue Vehicles & Equipment	\$ 99.10			\$ 99.10	\$ 0.14	\$ 99.24
9010 Dredging	\$ 130,578.88			\$ 130,578.88	\$ 183.83	\$ 130,762.71
9015 Stone Wharf	\$ 363,614.81			\$ 363,614.81	\$ 511.92	\$ 364,126.73
9016 Barge Harms	\$ 30,792.46			\$ 30,792.46	\$ 43.35	\$ 30,835.81
9020 Floats Int'l Gangway	\$ 23,323.38			\$ 23,323.38	\$ 46.91	\$ 23,370.29
9035 Vehicles	\$ 13,523.27			\$ 13,523.27	\$ 19.04	\$ 13,542.31
9050 Paving	\$ 63,438.00			\$ 63,438.00	\$ 89.31	\$ 63,527.40
9055 Public Works Equipment	\$ 6,634.11			\$ 6,634.11	\$ 9.34	\$ 6,643.45
9199 Cousins Island Parking Reserve	\$ 24,430.23			\$ 24,430.23	\$ 34.39	\$ 24,464.62
9030 Bulding Facilities	\$ 46,467.14		\$ 1,419.00	\$ 45,048.14	\$ 63.42	\$ 45,111.56
9031 Town Office	\$ 44,319.28		\$ 27,747.00	\$ 16,572.28	\$ 23.33	\$ 16,595.61
9057 Recycling Compactor	\$ 2,037.59		\$ 2,000.00	\$ 37.59	\$ 0.05	\$ 37.64
9059 Cemetery Capital Reserve	\$ 6,896.62			\$ 6,896.62	\$ 9.71	\$ 6,906.33
Cemetery Perpetual Care	\$ 95,457.77			\$ 95,457.77	\$ 134.39	\$ 95,592.16
9034 Broadband Reserve	\$ 49,810.34			\$ 49,810.34	\$ 70.14	\$ 49,880.48
9033 Solar Array Purchase	\$ 79,225.21			\$ 79,225.21	\$ 111.54	\$ 79,336.75
9040 Revaluation	\$ 76,808.51			\$ 76,808.51	\$ 108.13	\$ 76,916.64
9040 Grant Matching Funds	\$ 48,616.06			\$ 48,616.06	\$ 68.44	\$ 48,684.50
9058 Easements & Drainage	\$ 83,723.03			\$ 83,723.03	\$ 117.87	\$ 83,840.90
9070 Coastal Access Fund	\$ 16,593.91		\$ 13,650.00	\$ 2,943.91	\$ 4.14	\$ 2,948.05
9195 Indian Point Retaining Wall	\$ 57,406.40			\$ 57,406.40	\$ 80.82	\$ 57,487.22
9032 Land Acquisition & Development	\$ 23,202.82			\$ 23,202.82	\$ 32.67	\$ 23,235.49
	\$ 1,809,530.64	\$ -	\$ 44,816.00	\$ 1,764,714.64	\$ 2,484.44	\$ 1,767,199.08





Town of Chebeague Island Department of Public Works
49 Littlefield Road
Chebeague Island, ME 04017

Phone: 207-846-6419

ps1@chebeague.net

Fax-207-846-6413

March 2024

Monthly Report

This month We set up and broke down voting stuff. Put up 2 barricades on South Shore Drive and two on East Shore Drive and have been asked to get more. Removed two desks from town office and took them to the dump. Fixed many potholes on South Rd and some on North Road near dump. Took two loads of gravel to East Shore Dr to fix washout. Dragged all gravel roads to fill in washouts and potholes. We helped Kim Beam lift and remove pump on compactor and then lifted pump to be reinstalled. Changed dump sign from winter to summer hours. Working with Custom Floats to get Stone Pier fixed. Pulled out truck that was stuck on Bennet's Cove Beach. Started sweeping the island and got a lot done. Worked with TA and moved rocks on Coalman's Cove from beach to the bottom of the wash out on South Shore DR to try to stop anymore from coming down. Started cleaning up on the sides of the roads from Ice Storm.

Thanks

Public Works

Town of Chebeague Island
192 North Road
Chebeague Island, ME 04017

Phone: 207-846-3148

www.townofchebeagueisland.org

Fax-207-846-6413

MEMO

To: Vika Wood, Town Administrator
From: Genaro Balzano, Harbormaster
Date: March 29, 2024
Re: Monthly Report September 2023

Stone Pier

Public Works is diligently working on routine maintenance and PMS on all the floats. Placement and launching of the floats will commence sometimes in April. Tie-Up stickers should arrive sometime next week and will officially go on sale.

Chandlers

Floats will be visually inspected and repaired if minor, on site.

Cousins

As a reminder Chebeague residents are prohibited from tying to the Yarmouth float.

Moorings.

Mooring applications will be going out soon.

Aquaculture

No pre-app meetings are scheduled.

Shellfish

Licenses are on sale at the main office. I have been recently walking the tidal flats for signs of population and predator activity documenting with photos. The town needs to have a shellfish meeting. If anyone is interested in membership please let the office know. I recently attended class at DMR in Augusta for recertification.

Town Vessel

Respectfully submitted.

Genaro Balzano



Town of Chebeague Island
192 North Road, Chebeague Island, ME 04017

MEMORANDUM

Date: March 29, 2024

To: Members of the Select Board & Viktoria Wood, Town Administrator

From: Tammy Munson, Interim Code Enforcement Officer

Re: Monthly Report

The Town is moving forward with the online submittal process of the I-Worqs program. The Town Administrator has been working on announcing this on various social media platforms. I am pleased with what I have accomplished, and this is fully operational offering online permit applications successfully. We will also continue to offer a “hybrid” application process going forward for individuals who would like to continue doing paper submittals. It is important to note that going forward, all permit submittal documents will be housed in the I-Worqs program and will be on a cloud-based platform that will be stored permanently. Therefore, eliminating any documents getting misplaced again.

I have been closely discussing an upcoming shoreland project with the owners of Indian Island. I have also met with the Chebeague Island Inn that is looking to do a landscape project beginning in May. The Town Administrator and I have been monitoring several storm damage locations throughout the island.

In closing, I have attached March’s permitting reports for your review for our I-Worqs permitting program.

Permit Detail Report

3/1/2024 - 03/31/2024

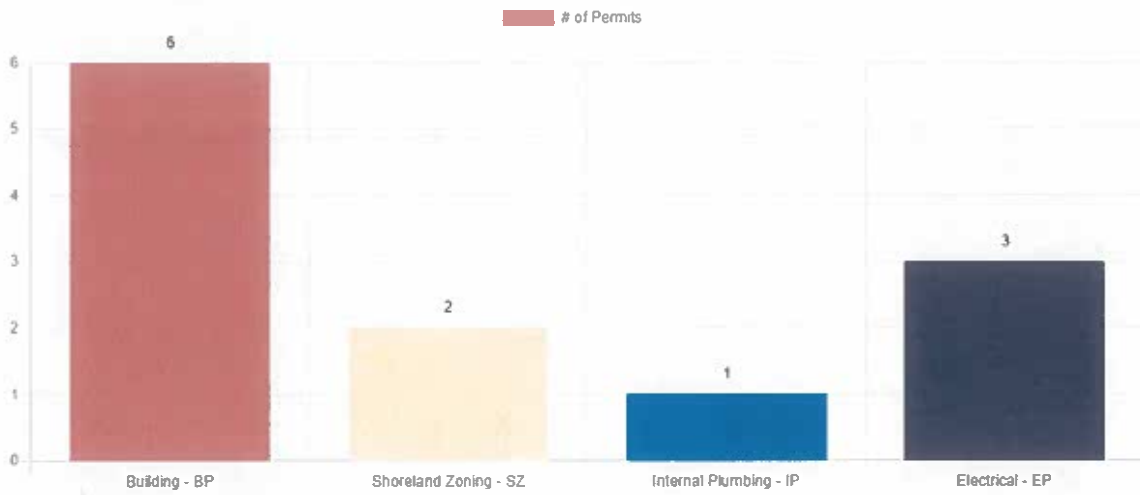
Permit #	Permit Date	Permit Type	Description	Parcel #	Parcel Address
240032	3/25/2024	Shoreland Zoning - SZ		I01-083	0 DEER POINT ROAD
240031	3/25/2024	Building - BP	Interior Renovations	I03-060	27 FENDERSON ROAD
240030	3/25/2024	Building - BP	Addition	I07-051	34 BLUFF HEAD ROAD
240029	3/25/2024	Building - BP	Add 10' x 20' Tough Shed	I07-045	42 OLD CART ROAD
240028	3/21/2024	Building - BP	Remove existing screen porch and associated roof deck. Replace roof deck exterior door with code-compliant egress window. Rebuild screen porch and new roof system per 2024 plans by Dave Brunner.	I01-021E	47 JENKS ROAD
240027	3/18/2024	Shoreland Zoning - SZ	Temporary shoreline stabilization to South Shore Dr. to prevent further washout and road damage.	I03-137	192 NORTH ROAD
240026	3/18/2024	Building - BP	Replace chimney	I05-006	5 SCHOOL HOUSE ROAD

Permit #	Permit Date	Permit Type	Description	Parcel #	Parcel Address
240025	3/12/2024	Building - BP	Pre-fab Tuff Shed installed on gravel footing. Tuff Shed cost is \$14,000, plus estimated foundation work of \$6000. Shed will also have electrical service,.	I01-021E	47 JENKS ROAD
240024	3/8/2024	Internal Plumbing - IP	New plumbing	I03-060	27 FENDERSON ROAD
240023	3/8/2024	Electrical - EP	Additional wiring	I07-013	101 NORTH ROAD
240022	3/8/2024	Electrical - EP	Upgrade Servie	I03-146-001	164 NORTH ROAD
240021	3/8/2024	Electrical - EP	Install Generator	I01-015	112 COTTAGE ROAD

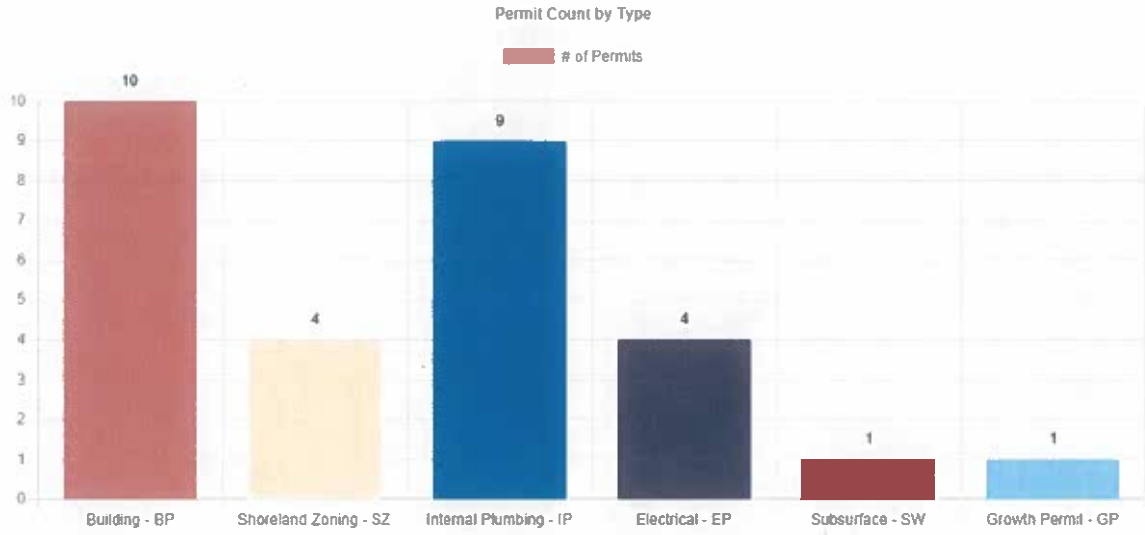
Total Records: 12

3/28/2024

Permit Count by Type



Display: Month
Month: Mar
Year: 2024



Display: Year
Year: 2024

Town of Chebeague Island
192 North Road
Chebeague Island, ME 04017

Phone: 207-846-3148

www.townofchebeagueisland.org

Fax-207-846-6413

MEMO

To: Vika Wood, Town Administrator
From: Chief Ralph Munroe
Date: March 28, 2024
Re: Monthly Report

To Date the Chebeague Fire and Rescue Department has responded to 16 calls for service.

The basic firefighter class is progressing well, we are working through everyone's schedules to finish up the program. I would like to thank Yarmouth and Cumberland fire departments for the use of their training facilities.

I would like to thank the Chebeague Fire Rescue Association and especially John Ames, for donating the money to purchase our new hydraulic extrication cutting tool.

The Fire and Rescue department minimally manned the station for 2 days during the ice storm. I would like to thank all the members who helped out, both at the station and around the Island. Checking on people and making a list for CMP that helped expedite the process of restoring power to the community.

Respectfully submitted
Chief Munroe

To: Board of Selectmen
From: Town of Chebeague Island Broadband Committee, Michael Porter, Chair
Date: March 28, 2024
Subject: Broadband Update

The system progress is generally in a very good state. Details are discussed in three sections below:

1. Central Office

The site plan by the Facilities Committee's consultant is finished and will go to the Planning Board for whatever kind of review they will give it. We expect that they will approve it.

Detail plans for earthwork and concrete slab are finished. Axiom has chosen a sub-contractor for the earthwork and slab, and we expect work to start in late April, with the slab to be poured the first or second week of May. Axiom expects to install the cabinets and electronics in late May or early June. They are in the process of ordering the equipment now.

2. Network Construction

CMP has a contractor ('On Target') on the island transferring their wires to all the new poles and, incidentally, doing our make-ready work. Their target date to finish was April 12, but this may have been changed by the storm.

Axiom's sub-contractor, 'AC Communications,' has also, fortunately, been hired by Consolidated to do their make-ready work on the island. They had intended to start April 1, but the earliest barge date they could get for their trucks was April 8th. They will be installing the "strand" (the quarter-inch stainless-steel wire rope that carries the fiber cable) at the same time as doing the make-ready work, so the whole process will go much faster than it might have. They will keep the Town Office informed of their work locations to minimize the inconvenience.

AC Communications hopes to have the main network finished by sometime in July, although individual hook-ups and installation of 'Customer Premise Equipment' (the equivalent of a modem) may go on beyond that date. There is, so far, no stress on the budget.

The Committee is presently concerned with encouraging people to sign up for the new system.

Summary of Planning Board 2024 warrant articles

Planning Board Ordinance:

The Ordinance is edited to reduce required membership level from 7 to 5, as it has regularly proved difficult to recruit sufficient numbers, and 5 is a fairly common and workable number for a small town planning board. A five member staggered appointment schedule has been established. Quorum is set at 3, with a majority vote of those present and able to vote necessary for approval of any decision.

Responsibility for writing the Capital Improvement Plan is eliminated as the Select Board is currently responsible for that task. Meeting by electronic media, as during the recent pandemic, is specifically allowed, in case of future events that preclude meeting in person.

Floodplain Management Ordinance:

Chebeague has one in place; the state has mandated an updated replacement with this new edited version. Changes were very minimal; primarily dates and map references. If we don't pass this at Town Meeting, individual property owners might be ineligible for future flood insurance coverage; likewise, the Town might be ineligible for FEMA/MEMA flood/storm damage emergency funding.

Zoning Ordinance Section 407:

This section, formerly "Conversions", has been re-crafted to reflect the state mandates included in newly passed state law LD2003. Through passage of that law the state sought to increase affordable housing by striking some zoning density elements of all Maine towns, effectively reducing traditional home rule under MRSA 30-A, and essentially doubling density. Our 1.5 acre standard minimum lot can now, under this law, accommodate a duplex, or a single family home with up to 2 accessory dwelling units (ADUs) where before only one single family home was allowed by ordinance. The new section codifies the mandates, while restricting the size of the units to a reasonable limit and reinforcing the setback, frontage, code, and septic/well regulations. If we don't pass this, state law supersedes our ordinance on July 1, 2024 and we have no say in the foregoing restrictions.

Zoning Ordinance Section 406:

Formerly "Multiplexes", now "Multiplex Dwellings: Apartments and Condominiums", incorporating pieces from the original Section 406 and "Conversions". Little has been changed, other than combining the multiplex options into one section. The requirements remain fairly restrictive with respect to size, location on the property, open space provisions, and setbacks. Note that under new state law LD2003, if we had public sewer/water and (*specifically*) "Designated Growth Areas", these restrictions would be dramatically reduced to allow relatively easy and dense development of apartments and condominiums. Having this section in this form in our ordinance will control and forestall such development, at least until such time as, and if, the people of Chebeague decide to loosen said restrictions.

Comprehensive Plan Update:

Until the LePage administration did away with the State Planning Office, Maine towns were required to write a detailed Comprehensive Plan, and rewrite it every ten years. Ours is now nearly 13 years old and, while it is not specifically, legally required, an update seemed a good idea, at least as a temporary measure until the Town decides to fully reconsider and rewrite its Comprehensive Plan. The "Update" that the Planning Board has prepared is proposed as an appendix to the original Plan. It affirms the original plan and is a relatively terse and concise summary of the high priorities in the original, speaks to the Town's planned accomplishments to date, emphasizes the actions necessary to achieving the Plan's goals, and organizes the priorities into categories that simplify their application primarily to the Planning Board's ongoing efforts to update, simplify, and edit the Zoning Ordinance. A complementary benefit of the update is that it serves as a "thumbnail sketch" summary of the original Plan for easy reference by the townspeople. No new priority has been initiated, nor have the high priorities been changed or omitted. The Planning Board suggests that this appendix serve as our Plan's periodic update until the Town does a full rewrite.

Town of Chebeague Island Code of Ordinances
Chapter 17 — Land Use & Planning
Article V — Administration

PLANNING BOARD
ORDINANCE
of the Town of Chebeague Island
MAINE

(edits proposed & approved by the Planning Board, 03/13/23)

Adopted by the Town Meeting: July 1, 2007
Effective: July 1, 2007
Amended June 11, 2016

Attest:
Town Clerk
Seal:

SECTION 101. PLANNING BOARD

A. Establishment of Planning Board

The Planning Board of the Town of Chebeague Island is hereby created pursuant to 30-A M.R.S.A. § 3001.

B. Appointment, Qualifications, Tenure and Vacancies

1. The Planning Board shall consist of ~~seven-five (57)~~ members appointed by the Board of Selectmen. They shall serve without compensation.
2. Members ~~must be at least 18 years old, a resident of the Town of Chebeague Island, and a U.S. citizen shall be residents of the Town of Chebeague Island.~~ The Selectmen may establish additional, uniform, and lawful criteria for appointment to the Planning Board. ~~Four-Three~~ or more members of the Board shall constitute a quorum of the Board. A decision of a quorum of the Board made in conformance with applicable law shall be valid and binding.
3. Members of the Board of Selectmen and of the Board of Adjustment and Appeals shall not serve as members of the Planning Board.
4. The term of office of each regular member shall be three years. The terms of office shall be staggered with the terms of office of two members expiring in one year, the terms of office of ~~three-two~~ members expiring in the next year, and the terms of office of ~~two-one~~ members expiring in the third year.
5. Vacancies may occur by reason of resignation, death or removal from the Town or State. Vacancies shall be filled by the Board of Selectmen for the unexpired term.
6. If a member fails to attend two regular or special, meetings in a row without providing an excuse, a majority of the Board may certify this failure to the Selectmen, asking them to replace the member. A member may also be removed for cause after notice and hearing by the Board of Selectmen.

C. Organization and Rules

1. The Board shall annually elect a Chairman, ~~and~~ a Vice-Chairman, ~~and a Secretary.~~

Town of Chebeague Island Code of Ordinances
Chapter 17 — Land Use & Planning
Article V — Administration

Officers shall serve one-year terms and shall be eligible for re-election.

2. ~~Three (3)~~Four members of the Board shall constitute a quorum.
3. ~~A majority favorable vote of those Board members in attendance and eligible to participate shall constitute approval of any motion or decision of a meeting or hearing.~~
- 3-4. The Board shall adopt rules and regulations for the transaction of its business.

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~~4.5~~ Any question of whether a particular issue involves a conflict of interest sufficient to disqualify a member from voting thereon shall be decided by a majority vote of the other members present.

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~~5.6~~ All records of the Board shall be public records and may be inspected at reasonable times.

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~~6.7~~ All meetings shall be held pursuant to public notice and be held either in a public building or by means of publicly accessible electronic media.

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D. Duties

The Planning Board shall have the following duties and powers:

1. The Board shall prepare a Comprehensive Plan for the Town of Chebeague Island in accordance with the provisions of 30-A MRSA 4323 and 4326. This plan shall be recommended for adoption to the Town Meeting under 30-A MRSA 4324.9.
2. The Board shall periodically review the land use ordinances of the Town of Chebeague Island and submit to the Town Meeting proposed amendments thereto, consistent with said Comprehensive Plan.
3. The Board shall investigate and make reports and recommendations upon such planning and land use matters as it may deem appropriate or as may be formally referred to it by the Town Meeting, the Board of Selectmen, other Town committees or the Town Administrator.
4. The Board shall give the public ample opportunity to be heard concerning the development of the Comprehensive Plan, land use ordinances and other land use policies.
5. The Board shall serve under 30-A MRSA 4403 as the municipal reviewing authority of all requests for subdivision approval. The Board shall approve the naming of all streets in proposed subdivisions.
6. The Board shall serve under the Zoning Ordinance of the Town of Chebeague Island, as the reviewing authority for all requests for site plan approval.

~~7. The Board shall, with the Town Administrator, develop and review the Capital-Improvement Plan and the annual capital budget.~~

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~~8.7~~ The Board shall annually submit a report of the Planning Board's actions and a proposed budget to the Town Administrator to be approved by Town Meeting.

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E. Assistance from Other Town Officials

The Town Administrator and the Code Enforcement Officer shall provide such technical, administrative and clerical assistance as required by the Planning Board. The Board may request the Town Administrator to engage such professional help as it may require to ~~carry out~~perform its duties, subject to the availability of funds appropriated therefore by the Town Meeting. ~~The Board shall annually, through the Chairman, request operating appropriations in a manner prescribed by the Administrator.~~

E. Appeal

An appeal from a decision of the Planning Board shall be taken directly to Superior Court, pursuant to the provisions of the Maine Rules of Civil Procedure, unless otherwise specified in the Town's Zoning Ordinance or Shoreland Zoning Ordinance.

G. Savings Provision

The invalidity of any provision of this ordinance shall not affect the validity of any other provision thereof.

FLOODPLAIN MANAGEMENT ORDINANCE
FOR THE
TOWN OF CHEBEAGUE ISLAND, MAINE

ENACTED: _____
Date

EFFECTIVE: June 20, 2024 _____
Date

CERTIFIED BY: _____
Signature

CERTIFIED BY: _____
Print Name

Title

Affix Seal

FLOODPLAIN MANAGEMENT ORDINANCE

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ARTICLE I - PURPOSE AND ESTABLISHMENT

Certain areas of the Town of Chebeague Island, Maine are subject to periodic flooding, causing serious damages to properties within these areas. Relief is available in the form of flood insurance as authorized by the National Flood Insurance Act of 1968.

Therefore, the Town of Chebeague Island, Maine has chosen to become a participating community in the National Flood Insurance Program and agrees to comply with the requirements of the National Flood Insurance Act of 1968 (P.L. 90-488, as amended) as delineated in this Floodplain Management Ordinance.

It is the intent of the Town of Chebeague Island, Maine to require the recognition and evaluation of flood hazards in all official actions relating to land use in the floodplain areas having special flood hazards.

The Town of Chebeague Island has the legal authority to adopt land use and control measures to reduce future flood losses pursuant to Title 30-A MRSA, Sections 3001-3007, 4352, 4401-4407, and Title 38 MRSA, Section 440.

The National Flood Insurance Program, established in the aforesaid Act, provides that areas of the Town of Chebeague Island having a special flood hazard be identified by the Federal Emergency Management Agency and that floodplain management measures be applied in such flood hazard areas. This Ordinance establishes a Flood Hazard Development Permit system and review procedure for development activities in the designated flood hazard areas of the Town of Chebeague Island, Maine.

The areas of special flood hazard, Zones AE and VE for the Town of Chebeague Island, Cumberland County, Maine, identified by the Federal Emergency Management Agency in a report entitled "Flood Insurance Study – Cumberland County, Maine," dated June 20, 2024, with accompanying "Flood Insurance Rate Map" dated June 20, 2024, as amended, are hereby adopted by reference and declared to be a part of this Ordinance.

ARTICLE II - PERMIT REQUIRED

The Code Enforcement Officer shall be designated as the local Floodplain Administrator. The Floodplain Administrator shall have the authority to implement the commitment made to administer and enforce the requirements for participation in the National Flood Insurance Program.

Before any construction or other development (as defined in Article XIV), including the placement of manufactured homes, begins within any areas of special flood hazard established in Article I, a Flood Hazard Development Permit shall be obtained from the Code Enforcement Officer, except as provided in Article VII. This permit shall be in addition to any other permits which may be required pursuant to the codes and ordinances of the Town of Chebeague Island, Maine.

ARTICLE III - APPLICATION FOR PERMIT

The application for a Flood Hazard Development Permit shall be submitted to the Code Enforcement Officer and shall include:

- A. The name, address, and phone number of the applicant, owner, and contractor;
- B. An address and a map indicating the location of the construction site;

- C. A site plan showing locations of existing and/or proposed development, including but not limited to structures, sewage disposal facilities, water supply facilities, areas to be cut and filled, and lot dimensions;
- D. A statement of the intended use of the structure and/or development;
- E. A statement of the cost of the development including all materials and labor;
- F. A statement as to the type of sewage system proposed;
- G. Specification of dimensions of the proposed structure and/or development;

[Items H-K.3. apply only to new construction and substantial improvements.]

- H. The elevation in relation to the National Geodetic Vertical Datum (NGVD), North American Vertical Datum (NAVD), or to a locally established datum in Zone A only, of the:
 - 1. base flood at the proposed site of all new or substantially improved structures, which is determined:
 - a. in Zones AE and VE from data contained in the "Flood Insurance Study - Cumberland County, Maine," as described in Article I; or,
 - 2. highest and lowest grades at the site adjacent to the walls of the proposed building;
 - 3. lowest floor, including basement; and whether or not such structures contain a basement;
 - 4. lowest machinery and equipment servicing the building; and,
 - 5. level, in the case of non-residential structures only, to which the structure will be floodproofed.
- I. A description of an elevation reference point established on the site of all developments for which elevation standards apply as required in Article VI;
- J. A written certification by:
 - 1. a Professional Land Surveyor that the grade elevations shown on the application are accurate; and,
 - 2. a Professional Land Surveyor, registered professional engineer or architect that the base flood elevation shown on the application is accurate.
- K. The following certifications as required in Article VI by a registered professional engineer or architect:

1. a Floodproofing Certificate (FEMA Form FF-206-FY-22-153, as amended), to verify that the floodproofing methods for any non-residential structures will meet the floodproofing criteria of Article VI.I.; and other applicable standards in Article VI;
 2. a V-Zone Certificate to verify that the construction in coastal high hazard areas, Zone VE, will meet the criteria of Article VI.R.; and other applicable standards in Article VI;
 3. a Hydraulic Openings Certificate to verify that engineered hydraulic openings in foundation walls will meet the standards of Article VI.N.2.a.;
 4. a certified statement that bridges will meet the standards of Article VI.O.;
 5. a certified statement that containment walls will meet the standards of Article VI.P.
- L. A description of the extent to which any water course will be altered or relocated as a result of the proposed development; and,
- M. A statement of construction plans describing in detail how each applicable development standard in Article VI will be met.

ARTICLE IV - APPLICATION FEE AND EXPERT'S FEE

A non-refundable application fee as established annually by the Board of Selectmen in their Schedule of Fees shall accompany the application.

An additional fee may be charged if the Code Enforcement Officer, Planning Board, and/or the Board of Appeals needs the assistance of a professional engineer or other expert. The expert's fee shall be paid in full by the applicant within 10 days after the town submits a bill to the applicant. Failure to pay the bill shall constitute a violation of the ordinance and be grounds for the issuance of a stop work order. An expert shall not be hired by the municipality at the expense of an applicant until the applicant has either consented to such hiring in writing or been given an opportunity to be heard on the subject. An applicant who is dissatisfied with a decision to hire expert assistance may appeal that decision to the Board of Appeals.

ARTICLE V - REVIEW STANDARDS FOR FLOOD HAZARD DEVELOPMENT PERMIT APPLICATIONS

The Code Enforcement Officer shall:

- A. Review all applications for the Flood Hazard Development Permit to assure that proposed developments are reasonably safe from flooding and to determine that all pertinent requirements of Article VI (Development Standards) have been, or will be met;
- B. Utilize, in the review of all Flood Hazard Development Permit applications:
 1. the base flood and floodway data contained in the "Flood Insurance Study - Cumberland County, Maine," as described in Article I;

2. in special flood hazard areas where base flood elevation and floodway data are not provided, the Code Enforcement Officer shall obtain, review, and reasonably utilize any base flood elevation and floodway data from federal, state, or other technical sources, including information obtained pursuant to Article III.H.1.b.(1); Article VI.M.; and Article IX.D., in order to administer Article VI of this Ordinance; and,
- C. Make interpretations of the location of boundaries of special flood hazard areas shown on the maps described in Article I of this Ordinance;
 - D. In the review of Flood Hazard Development Permit applications, determine that all necessary permits have been obtained from those federal, state, and local government agencies from which prior approval is required by federal or state law, including but not limited to Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1344;
 - E. Notify adjacent municipalities, the Department of Environmental Protection, and the Maine Floodplain Management Program prior to any alteration or relocation of a water course and submit copies of such notifications to the Federal Emergency Management Agency;
 - F. If the application satisfies the requirements of this Ordinance, approve the issuance of one of the following Flood Hazard Development Permits, based on the type of development:
 1. A two-part Flood Hazard Development Permit for elevated structures. Part I shall authorize the applicant to build a structure to and including the first horizontal floor only above the base flood level. At that time the applicant shall provide the Code Enforcement Officer with an “under construction” Elevation Certificate completed by a Professional Land Surveyor based on the Part I permit construction for verifying compliance with the elevation requirements of Article VI, paragraphs H., I., J., or R. Following review of the Elevation Certificate data, which shall take place within 72 hours of receipt of the application, the Code Enforcement Officer shall issue Part II of the Flood Hazard Development Permit. Part II shall authorize the applicant to complete the construction project; or,
 2. A Flood Hazard Development Permit for Floodproofing of Non-Residential Structures that are new construction or substantially improved non-residential structures that are not being elevated but that meet the floodproofing standards of Article VI.I.1. The application for this permit shall include a Floodproofing Certificate signed by a registered professional engineer or architect; or,
 3. A Flood Hazard Development Permit for Minor Development for all development that is not new construction or a substantial improvement, such as repairs, maintenance, renovations, or additions, whose value is less than 50% of the market value of the structure. Minor development also includes but is not limited to: accessory structures as provided for in Article VI.L., mining, dredging, filling, grading, paving, excavation, drilling operations, storage of equipment or materials, deposition or extraction of materials, public or private sewage disposal systems or water supply facilities that do not involve structures; and non-structural projects such as bridges, dams, towers, fencing, pipelines, wharves, and piers.

For development that requires review and approval as a Conditional Use, as provided for in this Ordinance, the Flood Hazard Development Permit Application shall be acted upon by the Planning Board as required in Article VII.

- G. Maintain, as a permanent record, copies of all Flood Hazard Development Permit Applications, corresponding Permits issued, and data relevant thereto, including reports of the Board of Appeals on variances granted under the provisions of Article X of this Ordinance, and copies of Elevation Certificates, Floodproofing Certificates, Certificates of Compliance, and certifications of design standards required under the provisions of Articles III, VI, and VIII of this Ordinance.

ARTICLE VI - DEVELOPMENT STANDARDS

All developments in areas of special flood hazard shall meet the following applicable standards:

A. All Development - All development shall:

1. be designed or modified and adequately anchored to prevent flotation (excluding piers and docks), collapse, or lateral movement of the development resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy;
2. use construction materials that are resistant to flood damage;
3. use construction methods and practices that will minimize flood damage; and,
4. use electrical, heating, ventilation, plumbing, and air conditioning equipment, and other service facilities that are designed and/or located to prevent water from entering or accumulating within the components during flooding conditions.

B. Water Supply - All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the systems.

C. Sanitary Sewage Systems - All new and replacement sanitary sewage systems shall be designed and located to minimize or eliminate infiltration of flood waters into the system and discharges from the system into flood waters.

D. On Site Waste Disposal Systems - On site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during floods.

E. Watercourse Carrying Capacity - All development associated with altered or relocated portions of a watercourse shall be constructed and maintained in such a manner that no reduction occurs in the flood carrying capacity of the watercourse.

F. Utilities - New construction or substantial improvement of any structure (including manufactured homes) located within:

1. Zones AE shall have the bottom of all electrical, heating, plumbing, ventilation and air conditioning equipment, permanent fixtures and components, HVAC ductwork and duct systems, and any other utility service equipment, facilities, machinery, or connections servicing a structure, elevated to at least one foot above the base flood elevation.
2. Zone VE shall meet the requirements of Article VI.R.2.

G. Physical Changes to the Natural Landscape - Certain development projects, including but not limited to, retaining walls, sea walls, levees, berms, and rip rap, can cause physical changes that affect flooding conditions.

1. All development projects in Zones AE and VE that cause physical changes to the natural landscape shall be reviewed by a Professional Engineer to determine whether or not the project changes the base flood elevation, zone, and/or the flood hazard boundary line.
 - a. If the Professional Engineer determines, through the use of engineering judgement, that the project would not necessitate a Letter of Map Revision (LOMR), a certified statement shall be provided.
 - b. If the Professional Engineer determines that the project may cause a change, a hydrologic and hydraulic analysis that meets current FEMA standards shall be performed.
2. If the hydrologic and hydraulic analysis performed indicates a change to the base flood elevation, zone, and/or the flood hazard boundary line, the applicant may submit a Conditional Letter of Map Revision (C-LOMR) request to the Federal Emergency Management Agency for assurance that the as-built project will result in a change to the Flood Insurance Rate Map. Once the development is completed, a request for a Letter of Map Revision (LOMR) shall be initiated.
3. If the hydrologic and hydraulic analysis performed show a change to the base flood elevation, zone, and/or the flood hazard boundary line, as soon as practicable, but no later than 6 months after the completion of the project, the applicant shall submit the technical data to FEMA in the form of a Letter of Map Revision request.

H. Residential - New construction or substantial improvement of any residential structure located within:

1. Zones AE shall have the lowest floor (including basement) elevated to at least one foot above the base flood elevation.
2. Zone VE shall meet the requirements of Article VI.R.

I. Non-Residential - New construction or substantial improvement of any non-residential structure located within:

1. Zones AE shall have the lowest floor (including basement) elevated to at least one foot above the base flood elevation, or together with attendant utility and sanitary facilities shall:

- a. be floodproofed to at least one foot above the base flood elevation so that below that elevation the structure is watertight with walls substantially impermeable to the passage of water;
- b. have structural components capable of resisting hydrostatic and hydrodynamic loads and the effects of buoyancy; and,
- c. be certified by a registered professional engineer or architect that the floodproofing design and methods of construction are in accordance with accepted standards of practice for meeting the provisions of this section. Such certification shall be provided with the application for a Flood Hazard Development Permit, as required by Article III.K. and shall include a record of the elevation above mean sea level to which the structure is floodproofed.

2. Zone VE shall meet the requirements of Article VI.R.

J. Manufactured Homes - New or substantially improved manufactured homes located within:

1. Zones AE shall:

- a. be elevated such that the lowest floor (including basement) of the manufactured home is at least one foot above the base flood elevation;
- b. be on a permanent foundation, which may be poured masonry slab or foundation walls, with hydraulic openings, or may be reinforced piers or block supports, any of which support the manufactured home so that no weight is supported by its wheels and axles; and,
- c. be securely anchored to an adequately anchored foundation system to resist flotation, collapse, or lateral movement. Methods of anchoring may include, but are not limited to:
 - (1) over-the-top ties anchored to the ground at the four corners of the manufactured home, plus two additional ties per side at intermediate points (manufactured homes less than 50 feet long require one additional tie per side); or by,
 - (2) frame ties at each corner of the home, plus five additional ties along each side at intermediate points (manufactured homes less than 50 feet long require four additional ties per side).
 - (3) All components of the anchoring system described in Article VI.J.1.c.(1) & (2) shall be capable of carrying a force of 4800 pounds.

2. Zone VE shall meet the requirements of Article VI.R.

K. Recreational Vehicles - Recreational Vehicles located within:

1. Zones AE shall either:

- a. be on the site for fewer than 180 consecutive days; and,
- b. be fully licensed and ready for highway use. A recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices, and has no permanently attached additions; or,
- c. be permitted in accordance with the elevation and anchoring requirements for "manufactured homes" in Article VI.J.1.

2. Zone VE shall meet the requirements of either Article VI.K.1.a. and b., or Article VI.R.

L. **Accessory Structures** - New construction or substantial improvement of Accessory Structures, as defined in Article XIV, shall be exempt from the elevation criteria required in Article VI.H. & I. above, if all other requirements of Article VI and all the following requirements are met.

1. Accessory Structures located in Zones AE shall:

- a. meet the requirements of Article VI.A.1. through 4., as applicable;
- b. be limited in size to a one-story two car garage;
- c. have unfinished interiors and not be used for human habitation;
- d. have only ground fault interrupt electrical outlets. The electric service disconnect shall be located above the base flood elevation and, when possible, outside the Special Flood Hazard Area;
- e. be located outside the floodway;
- f. when possible, be constructed and placed on the building site so as to offer the minimum resistance to the flow of floodwaters and be placed further from the source of flooding than is the primary structure; and,
- g. have hydraulic openings, as specified in Article VI.N.2., in at least two different walls of the accessory structure;

2. Accessory Structures located in Zone VE shall meet the requirements of Article VI.R.

M. **Floodways** -

- 1. In Zone AE riverine areas, encroachments, including fill, new construction, substantial improvement, and other development shall not be permitted within a regulatory floodway which is designated on the community's Flood Insurance Rate Map unless a technical evaluation certified by a registered professional engineer is provided demonstrating that such encroachments

will not result in any increase in flood levels within the community during the occurrence of the base flood discharge.

2. In Zone AE riverine areas, for which no regulatory floodway is designated, encroachments, including fill, new construction, substantial improvement, and other development shall not be permitted in the floodway as determined in Article VI.M.3. unless a technical evaluation certified by a registered professional engineer is provided demonstrating that the cumulative effect of the proposed development, when combined with all other existing development and anticipated development:
 - a. will not increase the water surface elevation of the base flood more than one foot at any point within the community; and,
 - b. is consistent with the technical criteria contained in FEMA's guidelines and standards for flood risk analysis and mapping.
3. In Zone AE riverine areas, for which no regulatory floodway is designated, the regulatory floodway is determined to be the channel of the river or other water course and the adjacent land areas to a distance of one-half the width of the floodplain as measured from the normal high water mark to the upland limit of the floodplain.

N. Hydraulic Openings/Flood Vents - New construction or substantial improvement of any structure in Zone AE that meets the development standards of Article VI, including the elevation requirements of Article VI, paragraphs H., I., or J. and is elevated on posts, columns, piers, piles, or crawl spaces may be enclosed below the base flood elevation requirements provided all the following criteria are met or exceeded:

1. Enclosed areas are not "basements" as defined in Article XIV;
2. Enclosed areas shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of flood water. Designs for meeting this requirement must either:
 - a. be engineered and certified by a registered professional engineer or architect; or,
 - b. meet or exceed the following minimum criteria:
 - (1) a minimum of two openings having a total net area of not less than one square inch for every square foot of the enclosed area;
 - (2) the bottom of all openings shall be below the base flood elevation and no higher than one foot above the lowest grade; and,
 - (3) openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the entry and exit of flood waters automatically without any

external influence or control such as human intervention, including the use of electrical and other non-automatic mechanical means;

3. The enclosed area shall not be used for human habitation; and,
4. The enclosed areas are usable solely for building access, parking of vehicles, or storage.

O. **Bridges** - New construction or substantial improvement of any bridge in Zones AE and VE shall be designed such that:

1. when possible, the lowest horizontal member (excluding the pilings, or columns) is elevated to at least one foot above the base flood elevation; and,
2. a registered professional engineer shall certify that:
 - a. the structural design and methods of construction shall meet the elevation requirements of this section and the floodway standards of Article VI.M.; and,
 - b. the foundation and superstructure attached thereto are designed to resist flotation, collapse, and lateral movement due to the effects of wind and water loads acting simultaneously on all structural components. Water loading values used shall be those associated with the base flood.

P. **Containment Walls** - New construction or substantial improvement of any containment wall located within:

1. Zones AE and VE shall:
 - a. have the containment wall elevated to at least one foot above the base flood elevation;
 - b. have structural components capable of resisting hydrostatic and hydrodynamic loads and the effects of buoyancy; and,
 - c. be certified by a registered professional engineer or architect that the design and methods of construction are in accordance with accepted standards of practice for meeting the provisions of this section. Such certification shall be provided with the application for a Flood Hazard Development Permit, as required by Article III.K.

Q. **Wharves, Piers, and Docks** - New construction or substantial improvement of wharves, piers, and docks are permitted in and over water and seaward of the mean high tide if the following requirements are met:

1. in Zone AE wharves, piers, and docks shall comply with all applicable local, state, and federal regulations; or,

2. in Zone VE, wharves, piers, and docks, shall have a registered professional engineer develop or review the structural design, specifications, and plans for the construction.

R. Coastal Floodplains -

1. New construction located within Zones AE and VE shall be located landward of the reach of mean high tide except as provided in Article VI.R.7.
2. New construction or substantial improvement of any structure located within Zone VE shall have the bottom of all electrical, heating, plumbing, ventilation and air conditioning equipment, permanent fixtures and components, HVAC ductwork and duct systems, and any other utility service equipment, facilities, machinery, or connections servicing a structure, elevated to at least one foot above the base flood elevation. Systems, fixtures, equipment, and components shall not be mounted on or penetrate through walls intended to break away under flood loads.
3. New construction or substantial improvement of any structure located within Zone VE shall:
 - a. be elevated on posts or columns such that:
 - (1) the bottom of the lowest horizontal structural member of the lowest floor (excluding the pilings or columns) is elevated to at least one foot above the base flood elevation;
 - (2) the pile or column foundation and the elevated portion of the structure attached thereto is anchored to resist flotation, collapse, and lateral movement due to the effects of wind and water loads acting simultaneously on all building components; and,
 - (3) water loading values used shall be those associated with the base flood. Wind loading values used shall be those required by applicable state and local building standards.
 - b. have the space below the lowest floor:
 - (1) free of obstructions; or,
 - (2) constructed with open wood lattice-work, or insect screening intended to collapse under wind and water without causing collapse, displacement, or other structural damage to the elevated portion of the building or supporting piles or columns; or,
 - (1) constructed with non-supporting breakaway walls that have a design safe loading resistance of not less than 10 or more than 20 pounds per square foot.
 - c. require a registered professional engineer or architect to:
 - (1) develop or review the structural design, specifications, and plans for the construction, which must meet or exceed the technical criteria contained in the *Coastal Construction Manual*, (FEMA-55); and,

- (2) certify that the design and methods of construction to be used are in accordance with accepted standards of practice for meeting the criteria of Article VI.R.3.
4. The use of fill for structural support in Zone VE is prohibited.
5. Human alteration of sand dunes within Zone VE is prohibited unless it can be demonstrated that such alterations will not increase potential flood damage.
6. The area below the lowest floor shall be used solely for parking vehicles, building access, and storage.
7. Conditional Use - Lobster sheds and fishing sheds may be located seaward of mean high tide and shall be exempt from the elevation requirement in Article VI.I. only if permitted as a Conditional Use following review and approval by the Planning Board, as provided in Article VII, and if all the following requirements and those of Article VI.A., VI.M., and VI.N. are met:
 - a. The conditional use shall be limited to low value structures such as metal or wood sheds 200 square feet or less and shall not exceed more than one story.
 - b. The structure shall be securely anchored to the wharf or pier to resist flotation, collapse, and lateral movement due to the effect of wind and water loads acting simultaneously on all building components.
 - c. The structure will not adversely increase wave or debris impact forces affecting nearby buildings.
 - d. The structure shall have unfinished interiors and shall not be used for human habitation.
 - e. Any mechanical, utility equipment, and fuel storage tanks must be anchored and either elevated or floodproofed to one foot above the base flood elevation.
 - f. All electrical outlets shall be ground fault interrupt type. The electrical service disconnect shall be located on shore above the base flood elevation and, when possible, outside the Special Flood Hazard Area.

ARTICLE VII - CONDITIONAL USE REVIEW

The Planning Board shall hear and decide upon applications for conditional uses provided for in this Ordinance. The Planning Board shall hear and approve, approve with conditions, or disapprove all applications for conditional uses. An applicant informed by the Code Enforcement Officer that a Conditional Use Permit is required shall file an application for the permit with the Planning Board.

A. Review Procedure for a Conditional Use Flood Hazard Development Permit

1. The Flood Hazard Development Permit Application with additional information attached addressing how each of the conditional use criteria specified in the Ordinance will be satisfied, may serve as the permit application for the Conditional Use Permit.
2. Before deciding any application, the Planning Board shall hold a public hearing on the application within thirty days of their receipt of the application.
3. If the Planning Board finds that the application satisfies all relevant requirements of the ordinance, the Planning Board must approve the application or approve with conditions within 45 days of the date of the public hearing.
4. A Conditional Use Permit issued under the provisions of this Ordinance shall expire if the work or change involved is not commenced within 180 days of the issuance of the permit by the Planning Board.
5. The applicant shall be notified by the Planning Board in writing over the signature of the Chairman of the Planning Board that flood insurance is not available for structures located entirely over water or seaward of mean high tide.

B. Expansion of Conditional Uses

1. No existing building or use of premises may be expanded or enlarged without a permit issued under this section if that building or use was established or constructed under a previously issued Conditional Use Permit or if it is a building or use which would require a Conditional Use Permit if being newly-established or constructed under this Ordinance.

ARTICLE VIII - CERTIFICATE OF COMPLIANCE

No land in a special flood hazard area shall be occupied or used and no structure which is constructed or substantially improved shall be occupied until a Certificate of Compliance is issued by the Code Enforcement Officer subject to the following provisions:

- A. For New Construction or Substantial Improvement of any elevated structure the applicant shall submit to the Code Enforcement Officer:
 1. an Elevation Certificate completed by a Professional Land Surveyor for compliance with Article VI, paragraphs H., I., J., or R. and,
 2. for structures in Zone VE, certification by a registered professional engineer or architect that the design and methods of construction used are in compliance with Article VI.R.3.
- B. The applicant shall submit written notification to the Code Enforcement Officer that the development is complete and complies with the provisions of this ordinance.
- C. Within 10 working days, the Code Enforcement Officer shall:

1. review the required certificate(s) and the applicant's written notification; and,
2. upon determination that the development conforms to the provisions of this ordinance, shall issue a Certificate of Compliance.

ARTICLE IX - REVIEW OF SUBDIVISION AND DEVELOPMENT PROPOSALS

The Planning Board shall, when reviewing subdivisions and other proposed developments that require review under other federal law, state law, local ordinances or regulations, and all projects on 5 or more disturbed acres, or in the case of manufactured home parks divided into two or more lots, assure that:

- A. All such proposals are consistent with the need to minimize flood damage.
- B. All public utilities and facilities, such as sewer, gas, electrical, and water systems are located and constructed to minimize or eliminate flood damages.
- C. Adequate drainage is provided so as to reduce exposure to flood hazards.
- D. All proposals include base flood elevations, flood boundaries, and, in a riverine floodplain, floodway data. These determinations shall be based on engineering practices recognized by the Federal Emergency Management Agency.
- E. Any proposed development plan must include a condition of plan approval requiring that structures on any lot in the development having any portion of its land within a Special Flood Hazard Area are to be constructed in accordance with Article VI of this ordinance. Such requirement will be included in any deed, lease, purchase and sale agreement, or document transferring or expressing an intent to transfer any interest in real estate or structure, including but not limited to a time-share interest. The condition shall clearly articulate that the municipality may enforce any violation of the construction requirement and that fact shall also be included in the deed or any other document previously described. The construction requirement shall also be clearly stated on any map, plat, or plan to be signed by the Planning Board or local reviewing authority as part of the approval process.

ARTICLE X - APPEALS AND VARIANCES

The Board of Appeals of the Town of Chebeague Island may, upon written application of an aggrieved party, hear and decide appeals where it is alleged that there is an error in any order, requirement, decision, or determination made by, or failure to act by, the Code Enforcement Officer or Planning Board in the administration or enforcement of the provisions of this Ordinance.

The Board of Appeals may grant a variance from the requirements of this Ordinance consistent with state law and the following criteria:

- A. Variances shall not be granted within any designated regulatory floodway if any increase in flood levels during the base flood discharge would result.
- B. Variances shall be granted only upon:

1. a showing of good and sufficient cause; and,
 2. a determination that should a flood comparable to the base flood occur, the granting of a variance will not result in increased flood heights, additional threats to public safety, public expense, or create nuisances, cause fraud or victimization of the public, or conflict with existing local laws or ordinances; and,
 3. a showing that the issuance of the variance will not conflict with other state, federal, or local laws or ordinances; and,
 4. a determination that failure to grant the variance would result in "undue hardship," which in this sub-section means:
 - a. that the land in question cannot yield a reasonable return unless a variance is granted; and,
 - b. that the need for a variance is due to the unique circumstances of the property and not to the general conditions in the neighborhood; and,
 - c. that the granting of a variance will not alter the essential character of the locality; and,
 - d. that the hardship is not the result of action taken by the applicant or a prior owner.
- C. Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief, and the Board of Appeals may impose such conditions to a variance as is deemed necessary.
- D. Variances may be issued for new construction, substantial improvements, or other development for the conduct of a functionally dependent use provided that:
1. the criteria of Article X.A. through C. and Article VI.M. are met; and,
 2. the structure or other development is protected by methods that minimize flood damages during the base flood and create no additional threats to public safety.
- E. Variances may be issued for the repair, reconstruction, rehabilitation, or restoration of Historic Structures upon the determination that:
1. the development meets the criteria of Article X.A. through C.; and,
 2. the proposed repair, reconstruction, rehabilitation, or restoration will not preclude the structure's continued designation as a Historic Structure and the variance is the minimum necessary to preserve the historic character and design of the structure.
- F. Variances may be issued for new construction and substantial improvement of Agricultural Structures being used for the conduct of agricultural uses provided that:

1. the development meets the criteria of Article X.A. through C.; and,
 2. the development meets the criteria of Article VI.M. and Article VI.N.
- G. Any applicant who meets the criteria of Article X.A. through C. and Article X.D., E., or F. shall be notified by the Board of Appeals in writing over the signature of the Chairman of the Board of Appeals that:
1. the issuance of a variance to construct a structure below the base flood level will result in greatly increased premium rates for flood insurance up to amounts as high as \$25 per \$100 of insurance coverage; and,
 2. such construction below the base flood level increases risks to life and property; and,
 3. the applicant agrees in writing that the applicant is fully aware of all the risks inherent in the use of land subject to flooding, assumes those risks, and agrees to indemnify and defend the municipality against any claims filed against it that are related to the applicant's decision to use land located in a floodplain and that the applicant individually releases the municipality from any claims the applicant may have against the municipality that are related to the use of land located in a floodplain.
- H. Appeal Procedure for Administrative and Variance Appeals
1. An administrative or variance appeal may be taken to the Board of Appeals by an aggrieved party within thirty days after receipt of a written decision of the Code Enforcement Officer or Planning Board.
 2. Upon being notified of an appeal, the Code Enforcement Officer or Planning Board, as appropriate, shall transmit to the Board of Appeals all of the documents constituting the record of the decision appealed from.
 3. The Board of Appeals shall hold a public hearing on the appeal within thirty-five days of its receipt of an appeal request.
 4. The person filing the appeal shall have the burden of proof.
 5. The Board of Appeals shall decide all appeals within thirty-five days after the close of the hearing and shall issue a written decision on all appeals.
 6. The Board of Appeals shall submit to the Code Enforcement Officer a report of all variance actions, including justification for the granting of the variance and an authorization for the Code Enforcement Officer to issue a Flood Hazard Development Permit, which includes any conditions to be attached to said permit.

7. Any aggrieved party who participated as a party during the proceedings before the Board of Appeals may take an appeal to Superior Court in accordance with State laws within forty-five days from the date of any decision of the Board of Appeals.

ARTICLE XI - ENFORCEMENT AND PENALTIES

- A. It shall be the duty of the Code Enforcement Officer to enforce the provisions of this Ordinance pursuant to Title 30-A MRSA § 4452.
- B. The penalties contained in Title 30-A MRSA § 4452 shall apply to any violation of this Ordinance.
- C. In addition to other actions, the Code Enforcement Officer, upon identifying a violation, may submit a declaration to the Administrator of the Federal Insurance Administration requesting a flood insurance denial. The valid declaration shall consist of:
 1. the name of the property owner and address or legal description of the property sufficient to confirm its identity or location;
 2. a clear and unequivocal declaration that the property is in violation of a cited State or local law, regulation, or ordinance;
 3. a clear statement that the public body making the declaration has authority to do so and a citation to that authority;
 4. evidence that the property owner has been provided notice of the violation and the prospective denial of insurance; and,
 5. a clear statement that the declaration is being submitted pursuant to Section 1316 of the National Flood Insurance Act of 1968, as amended.

ARTICLE XII - VALIDITY AND SEVERABILITY

If any section or provision of this Ordinance is declared by the courts to be invalid, such decision shall not invalidate any other section or provision of this Ordinance.

ARTICLE XIII - CONFLICT WITH OTHER ORDINANCES

This Ordinance shall not in any way impair or remove the necessity of compliance with any other applicable rule, ordinance, regulation, bylaw, permit, or provision of law. Where this Ordinance imposes a greater restriction upon the use of land, buildings, or structures, the provisions of this Ordinance shall control.

ARTICLE XIV - DEFINITIONS

Unless specifically defined below, words and phrases used in this Ordinance shall have the same meaning as they have at common law, and to give this Ordinance its most reasonable application. Words used in

the present tense include the future, the singular number includes the plural, and the plural number includes the singular. The word "may" is permissive; "shall" is mandatory and not discretionary.

Accessory Structure - a structure which is on the same parcel of property as a principal structure and the use of which is incidental to the use of the principal structure.

Adjacent Grade - the natural elevation of the ground surface prior to construction next to the proposed walls of a structure.

Agricultural Structure - structures that are used exclusively for agricultural purposes or uses in connection with the production, harvesting, storage, raising, or drying of agricultural commodities and livestock. Structures that house tools or equipment used in connection with these purposes or uses are also considered to have agricultural purposes or uses.

Area of Special Flood Hazard - land in the floodplain having a one percent or greater chance of flooding in any given year, as specifically identified in the Flood Insurance Study cited in Article I of this Ordinance.

Base Flood - a flood having a one percent chance of being equaled or exceeded in any given year, commonly called the 100-year flood.

Basement - any area of a building that includes a floor that is subgrade (below ground level) on all sides.

Breakaway Wall - a wall that is not part of the structural support of the building and is intended through its design and construction to collapse under specific lateral loading forces, without causing damage to the elevated portion of the building or supporting foundation system.

Building - see **Structure**.

Certificate of Compliance - a document signed by the Code Enforcement Officer stating that a structure is in compliance with all of the provisions of this Ordinance.

Code Enforcement Officer - a person certified under Title 30-A MRSA, Section 4451 (including exceptions in Section 4451, paragraph 1) and employed by a municipality to enforce all applicable comprehensive planning and land use laws.

Conditional Use - a use that, because of its potential impact on surrounding areas and structures, is permitted only upon review and approval by the Planning Board pursuant to Article VII.

Containment Wall - a wall surrounding all sides of an above ground tank to contain any spills or leaks.

Development - any manmade change to improved or unimproved real estate. This includes, but is not limited to, buildings or other structures; mining, dredging, filling, grading, paving, excavation, drilling operations or storage of equipment or materials; and the storage, deposition, or extraction of materials.

Elevated Building - a non-basement building that is:

- a. built, in the case of a building in Zone AE, so that the top of the elevated floor, or in the case of a building in Zone VE, to have the bottom of the lowest horizontal structural member of the elevated floor, elevated above the ground level by means of pilings, columns, posts, or piers; and,
- b. adequately anchored to not impair the structural integrity of the building during a flood of up to one foot above the magnitude of the base flood.

In the case of Zone AE, **Elevated Building** also includes a building elevated by means of fill or solid foundation perimeter walls with hydraulic openings sufficient to facilitate the unimpeded movement of flood waters, as required in Article VI.N. In the case of Zone VE, **Elevated Building** also includes a building otherwise meeting the definition of elevated building, even though the lower area is enclosed by means of breakaway walls, if the breakaway walls meet the standards of Article VI.R.3.b.(3).

Elevation Certificate - an official form (FEMA Form FF-206-FY-22-152, as amended) that is used to verify compliance with the floodplain management regulations of the National Flood Insurance Program.

Existing Manufactured Home Park or Subdivision - a manufactured home park or subdivision that was recorded in the deed registry prior to the adoption date of the community's first floodplain management regulations.

Flood or Flooding -

- a. A general and temporary condition of partial or complete inundation of normally dry land areas from:
 - 1. The overflow of inland or tidal waters.
 - 2. The unusual and rapid accumulation or runoff of surface waters from any source.
- b. The collapse or subsidence of land along the shore of a lake or other body of water as a result of erosion or undermining caused by waves or currents of water exceeding anticipated cyclical levels or suddenly caused by an unusually high water level in a natural body of water, accompanied by a severe storm, or by an unanticipated force of nature, such as flash flood or an abnormal tidal surge, or by some similarly unusual and unforeseeable event which results in flooding as defined in paragraph a.1. of this definition.

Flood Elevation Study - an examination, evaluation, and determination of flood hazards and, if appropriate, corresponding water surface elevations.

Flood Insurance Rate Map (FIRM) - an official map of a community, on which the Federal Insurance Administrator has delineated both the special hazard areas and the risk premium zones applicable to the community.

Flood Insurance Study - see **Flood Elevation Study**.

Floodplain or Floodprone Area - any land area susceptible to being inundated by water from any source (see **Flood or Flooding**).

Floodplain Management - the operation of an overall program of corrective and preventive measures for reducing flood damage, including but not limited to emergency preparedness plans, flood control works, and floodplain management regulations.

Floodplain Management Regulations - zoning ordinances, subdivision regulations, building codes, health regulations, special purpose ordinances (such as a floodplain ordinance, grading ordinance, and erosion control ordinance) and other applications of police power. The term describes such state or local regulations, in any combination thereof, which provide standards for the purpose of flood damage prevention and reduction.

Floodproofing - any combination of structural and non-structural additions, changes, or adjustments to structures which reduce or eliminate flood damage to real estate or improved real property, water and sanitary facilities, structures, and contents.

Floodway - see **Regulatory Floodway**.

Floodway Encroachment Lines - the lines marking the limits of floodways on federal, state, and local floodplain maps.

Freeboard - a factor of safety usually expressed in feet above a flood level for purposes of floodplain management. Freeboard tends to compensate for the many unknown factors, such as wave action, bridge openings, and the hydrological effect of urbanization of the watershed, which could contribute to flood heights greater than the height calculated for a selected size flood and floodway conditions.

Functionally Dependent Use - a use which cannot perform its intended purpose unless it is located or carried out in close proximity to water. The term includes only docking facilities, port facilities that are necessary for the loading and unloading of cargo or passengers, and ship building and ship repair facilities, but does not include long-term storage or related manufacturing facilities.

Historic Structure - any structure that is:

- a. Listed individually in the National Register of Historic Places (a listing maintained by the Department of Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;
- b. Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary of the Interior to qualify as a registered historic district;
- c. Individually listed on a state inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or,
- d. Individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either:
 1. By an approved state program as determined by the Secretary of the Interior, or,
 2. Directly by the Secretary of the Interior in states without approved programs.

Locally Established Datum - for purposes of this ordinance, an elevation established for a specific site to which all other elevations at the site are referenced. This elevation is generally not referenced to the National Geodetic Vertical Datum (NGVD), North American Vertical Datum (NAVD), or any other established datum and is used in areas where Mean Sea Level data is too far from a specific site to be practically used.

Lowest Floor - the lowest floor of the lowest enclosed area (including basement). An unfinished or flood resistant enclosure, usable solely for parking of vehicles, building access, or storage in an area other than a basement area is not considered a building's lowest floor, provided that such enclosure is not built so as to render the structure in violation of the applicable non-elevation design requirements described in Article VI.N. of this Ordinance.

Manufactured Home - a structure, transportable in one or more sections, which is built on a permanent chassis and is designed for use with or without a permanent foundation when connected to the required utilities. For floodplain management purposes the term manufactured home also includes park trailers, travel trailers, and other similar vehicles placed on a site for greater than 180 consecutive days.

Manufactured Home Park or Subdivision - a parcel (or contiguous parcels) of land divided into two or more manufactured home lots for rent or sale.

Mean Sea Level - for the purposes of the National Flood Insurance Program, the National Geodetic Vertical Datum (NGVD) of 1929, North American Vertical Datum (NAVD), or other datum, to which base flood elevations shown on a community's Flood Insurance Rate Map are referenced.

Minor Development - all development that is not new construction or a substantial improvement, such as repairs, maintenance, renovations, or additions, whose value is less than 50% of the market value of the structure. It also includes but is not limited to: accessory structures as provided for in Article VI.L., mining, dredging, filling, grading, paving, excavation, drilling operations, storage of equipment or materials, deposition or extraction of materials, public or private sewage disposal systems or water supply facilities that do not involve structures; and non-structural projects such as bridges, dams, towers, fencing, pipelines, wharves, and piers.

National Geodetic Vertical Datum (NGVD) - the national vertical datum, a standard established in 1929, which is used by the National Flood Insurance Program (NFIP). NGVD is based upon mean sea level in 1929 and has been called "1929 Mean Sea Level (MSL)".

New Construction - structures for which the "start of construction" commenced on or after the effective date of the initial floodplain management regulations adopted by a community and includes any subsequent improvements to such structures.

North American Vertical Datum (NAVD) - the national datum whose standard was established in 1988, which is the new vertical datum used by the National Flood Insurance Program (NFIP) for all new Flood Insurance Rate Maps. NAVD is based upon the vertical data used by other North American countries such as Canada and Mexico and was established to replace NGVD because of constant movement of the earth's crust, glacial rebound and subsidence, and the increasing use of satellite technology.

100-year flood - see **Base Flood**.

Recreational Vehicle - a vehicle that is:

- a. built on a single chassis;
- b. 400 square feet or less when measured at the largest horizontal projection, not including slideouts;
- c. designed to be self-propelled or permanently towable by a motor vehicle; and,
- d. designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use.

Regulatory Floodway -

- a. the channel of a river or other water course and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than a designated height, and,
- b. when not designated on the community's Flood Insurance Rate Map, it is considered to be the channel of a river or other water course and the adjacent land areas to a distance of one-half the width of the floodplain, as measured from the normal high water mark to the upland limit of the floodplain.

Riverine - relating to, formed by, or resembling a river (including tributaries), stream, brook, etc.

Special Flood Hazard Area - see **Area of Special Flood Hazard**.

Start of Construction - the date the building permit was issued, provided the actual start of construction, repair, reconstruction, rehabilitation, addition, placement, substantial improvement, or other improvement was within 180 days of the permit date. The actual start means either the first placement of permanent construction of a structure on a site, such as the pouring of slab or footings, the installation of piles, the construction of columns, or any work beyond the stage of excavation; or the placement of a manufactured home on a foundation. Permanent construction does not include land preparation, such as clearing, grading, and filling; nor does it include the installation of streets and/or walkways; nor does it include excavation for basement, footings, piers, or foundations or the erection of temporary forms; nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For a substantial improvement, the actual start of construction means the first alteration of any wall, ceiling, floor, or other structural part of a building, or modification of any construction element, whether or not that alteration affects the external dimensions of the building.

Structure - for floodplain management purposes, a walled and roofed building. A gas or liquid storage tank that is principally above ground is also a structure.

Substantial Damage - damage of any origin sustained by a structure whereby the cost of restoring the structure to its before damage condition would equal or exceed 50 percent of the market value of the structure before the damage occurred.

Substantial Improvement - any reconstruction, rehabilitation, addition, or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. This term includes structures which have incurred substantial damage, regardless of the actual repair work performed. The term does not, however, include either:

- a. Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary to assure safe living conditions; or,
- b. Any alteration of a Historic Structure, provided that the alteration will not preclude the structure's continued designation as a historic structure, and a variance is obtained from the Board of Appeals.

Variance - a grant of relief by a community from the terms of a floodplain management regulation.

Violation - the failure of a structure or development to comply with a community's floodplain management regulations.

ARTICLE XV - ABROGATION

This ordinance repeals and replaces any municipal ordinance previously enacted to comply with the National Flood Insurance Act of 1968 (P.L. 90-488, as amended).

ARTICLE XVI - DISCLAIMER OF LIABILITY

The degree of flood protection required by the ordinance is considered reasonable but does not imply total flood protection.

Sec. 407 Accessory Dwelling Units (ADUs) and Duplexes

407.1 Accessory Dwelling Units:

An Accessory Dwelling Unit (ADU) shall mean a group of rooms forming a habitable unit with facilities intended to be used for living, sleeping, cooking, eating, and bathroom purposes. Its living area shall be no smaller than 190 square feet and no larger than 1100 square feet, and neither the living area of one ADU nor the combined living areas of two ADUs may exceed that of the existing primary residence. ADUs may be attached to, detached from, or contained within the primary residence.

407.2 Duplexes:

A duplex shall mean a residential structure that contains two similar sized dwelling units, either stacked or side by side, with separate entrances. The lot and the duplex structure shall be held under single or common ownership, and any duplex-containing lot less than three acres shall not be subdivided.

407.3 Lot Rules for ADUs and Duplexes:

The following rules shall apply for all lots created on August 1, 1975 or later that are at least 1.5 acres in size and have at least 150 feet of frontage on a street, as well as for lots of record as of August 1, 1975 that are smaller than 1.5 acres:

- A. A single family residence or duplex may be built on an undeveloped lot;
- B. A lot with an existing single family dwelling may also accommodate:
 - 1. One ADU (accessory dwelling unit) built within the existing dwelling, or;
 - 2. One ADU attached to the existing dwelling, or;
 - 3. One ADU detached from the existing dwelling, or;
 - 4. One ADU within and one ADU attached to the existing dwelling, or;
 - 5. One ADU within and one ADU detached from the existing dwelling, or;
 - 6. One ADU attached to and one detached from the existing dwelling.
 - 7. Placing two ADUs within a primary structure shall render that structure a “multiplex”, subject to the rules in Section 406 of this Ordinance.
 - 8. Any allowable ADU that is detached from the primary dwelling may be either contained within or attached to an existing accessory structure;
- C. All setbacks under section 204, all building code specifications, driveway and shed setbacks, and subsurface waste system and freshwater well setbacks and requirements must be met;
- D. The rules in Section 500 of this ordinance governing “Non-conforming Uses, Buildings, Structures, and Lots” shall apply to the permissibility of constructing ADUs and duplexes on lots with existing non-conforming buildings or uses.

Sec. 406

Multiplex Dwellings; Apartments and Condominiums

406.1 General:

A multiplex dwelling shall be considered a structure containing 3 or more dwelling units. The construction of a multiplex dwelling or conversion of an existing single-family dwelling or duplex dwelling into a multiplex dwelling shall be reviewed by the Planning Board for compliance with the following standards:

- A. A multiplex dwelling can be held under single ownership in the case of rental apartments, or by individual unit owners in the case of a condominium development. Hereafter, the term "unit owner" shall refer to individuals owning one or more individual condominium units.
- B. The number of multiplex dwelling units allowed on a tract or parcel shall be calculated by dividing the net residential acreage of the tract or parcel by the minimum lot area of 1.5 acres per dwelling unit required for multiplex development.
- C. On any tract or parcel, the maximum number of attached dwelling units shall be six (6).
- D. A tract or parcel developed under this Section shall be held either in single or common ownership, and shall have at least the minimum amount of lot frontage on a street required under Section 204 of this Ordinance.
- E. Setbacks. The minimum setbacks as required in Section 204 of this Ordinance for front, rear or side yards that adjoin a boundary line of the tract or parcel or a street shall apply.
- F. A buffer shall be established between the multiplex housing and any dwelling on abutting tracts or parcels, which buffer shall be sufficient to minimize any potential nuisance, including but not limited to headlights, noise, storage areas and solid waste storage. This buffering shall consist of landscaping,

fencing, or grading or a combination of some or all of these techniques.

- G. No dwelling unit shall have less than 600 square feet of finished living area, exclusive of common hallways, basements, and unimproved attic areas.
- H. The scale and surface area of parking areas, driveways and paved areas shall be compatible with adjacent structures, must be properly screened, and must provide for parking in accordance with the requirements of Sec. 419 of this Ordinance.
- I. Open Space. The amount of open space that shall be required shall be required shall be at least 50%.
 - 1. This open space shall be usable for recreational, agricultural or other outdoor living purposes and for preserving natural features including, but not limited to, large trees, tree groves, woods, ponds, streams, glens, rock outcrops, natural plant life and wildlife cover, deer yards, and to the greatest extent possible, shall be contiguous open space. The use of any such open space may be further limited or regulated by the imposition of reasonable conditions at the time of final subdivision approval by the Planning Board where necessary to protect adjacent properties or uses, or the open space itself.
 - 2. If any or all of the open space is to be reserved by unit owners as common open space, each unit owner shall own a fractional interest in the common open space and the developer shall be required prior to final subdivision plan approval to incorporate a homeowners' association consisting of unit owners, which incorporation must comply with the following:
 - a. Proposed covenants shall be placed in each deed from the developer to the unit owner, which deed covenants shall require mandatory membership in the homeowners' association, and shall set forth the unit owners' rights, interests, privileges and obligations in the association and in the common open space, including the homeowners' association's responsibility and obligation to maintain the common open space and any recreational facilities located therein.

- b. The homeowners' association shall develop a system to levy and collect annual charges against any and all individual lot owners to defray any expense connected with the maintenance of common open space and any recreational facilities located therein, and this system shall be described in said deed covenant or by some other legal instrument made binding upon the individual unit owner and running with the land.
 - c. The developer shall maintain control of the common open space and be responsible for its maintenance until 75% of the multiplex dwelling units in the subdivision have been sold, at which time, the homeowners' association shall be responsible for such maintenance, and this obligation shall be described in said deed covenant or by some other legal instrument made binding upon each unit owner and running with the land.
 - d. All such proposed deed covenants and other legal documents pertaining to common open space shall be reviewed by the town attorney, and, if approved by the planning board, shall be recorded in the Cumberland County Registry of Deeds, and included or referred to in the deed to each unit.
3. Some or all of the open space may be dedicated to the Town of Chebeague Island, subject to acceptance by Town Meeting.
4. Some or all of the open space may be dedicated to a non-profit land trust for conservation, passive recreation purposes, or active recreation purposes.
5. Any dedication under subsection 406.1.H.3 or 406.1.H.4 above must be made through appropriate legal instruments, reviewed by the Town Attorney.
6. The open space(s) shall be shown on the subdivision plan with appropriate notation on the face thereof to indicate that it shall not be used for future buildings or structures.

7. All legal documents required under this subsection must be submitted with the final subdivision plan application.

406.2 Condominiums:

Any structure or property which is converted to condominium ownership in accordance with the provisions of the Maine Condominium Act, regardless of whether there is any physical change in the structure or property, shall be considered a subdivision, unless such structure or property has already been approved under the Subdivision Ordinance.

Chebeague Island Comprehensive Plan

Update 2024

(version 4)

Historical Perspective:

The Town of Chebeague Island's original comprehensive plan resulted from the state's response to a perceived threat of unmanaged and perhaps rampant development in Maine, particularly on the coast and in rural areas. The legislature passed the *Maine Comprehensive Planning and Land Use Act of 1988* which mandated that municipalities write comprehensive plans replete with statistical and graphic inventories of their resources and goals for managing development. Zoning ordinances would naturally follow these plans and be written to achieve community-desired development patterns.

When Chebeague Island seceded from Cumberland and became an independent town in 2007 it became necessary, appropriate, and important for the new town to create its own island community relevant comprehensive plan and zoning ordinance distinct from that of its former parent mainland suburban community.

The Comprehensive Plan Committee was established in 2008 involving nearly two dozen volunteers (and, in fact, the whole community) and began the laborious tasks of collecting data, analyzing trends and conditions, creating 65 maps, conducting a citizens' survey that ranked priorities, and holding a series of public meetings for community input and guidance. In 2011, the Committee issued the *Town of Chebeague Island Comprehensive Plan*, nearly 300 pages that set forth a future vision for Chebeague followed by goals, recommendations, and implementation strategies to fulfill the promise of that vision.

Under the LePage administration, the State Planning Office, which oversaw municipal comprehensive planning, was eliminated and therefore so was the original legislated mandate for towns to write and maintain comprehensive plans. While the formerly mandated ten-year update/rewrite of the entire plan is no longer officially required, it makes sense to revisit the comprehensive plan and provide an update on its current validity, which of its goals were achieved, what remains to be accomplished, and how; this update attempts to do so with a particular eye to ongoing Planning Board efforts to rewrite the town's Zoning Ordinance with the Comprehensive Plan serving to guide the process.

Vision Affirmed:

A Future Vision For Chebeague is the opening, defining piece in the original Comprehensive Plan. Back in 2011, the "future" was 2020, and the vision sets forth desired aspects of and achievements to benefit the island community. At its core is the central theme of sustainability of the community, particularly the year-round

population. The plan then goes point by point in describing the many necessary elements of governance, regulation, and public/private effort that are necessary to achieve the vision. The last line of the vision statement serves as a fairly good summation of how Chebeague sees its future: "We preserve our past and our small-town character as we continue to plan for the future."

In 2015, the Planning Board began work on a revision of the Comprehensive Plan, issuing a draft in December of that year. While there are a plethora of environmental, social, and governmental factors involved in guaranteeing Chebeague's survival, some recurrent themes emerged in the original plan as important in maintaining a viable, self-sustaining year-round/seasonal island community: adequate affordable housing, protection of the fresh water aquifer, sustaining the island school, preserving the island's character, and maintaining transportation linkages to the mainland. While these themes are embedded throughout the entire extensive and detailed original comprehensive plan, the revision authors realized that the plan's 136 goals could be synthesized and distilled into a more practical, workable 15 goals that incorporate and address the themes, very briefly summarized here:

1. Maintain the K-5 school
2. Maintain mainland transportation linkages
3. Maintain/build suitable wharfs & related parking
4. Maintain/improve Town Public Safety services
5. Prepare 5-year capital improvement plan
6. Improve electronic communications
7. Preserve the year-round community
8. Maintain island natural and historical character
9. Produce Chebeague-specific zoning ordinances
10. Maintain traditional maritime and agricultural employment
11. Increase affordable housing
12. Protect the aquifer
13. Regulate sub-surface disposal systems and pesticide use
14. Regulate solid waste disposal
15. Adopt climate adaptation strategies

The authors summarized and restated the original plan's goals with an eye to how these goals were related not only to the ongoing governance process but also to the proposed efforts to rewrite the town's ordinances and regulations, in particular the Zoning Ordinance. While they did not add new goals to the revision, they basically affirmed and re-emphasized the original plan's goals and philosophy. Over the past decade, the Town has changed and grown, but the people have maintained their desire to achieve the vision stated in the original comprehensive plan. The nature of the above-listed goals is that they not only represent ongoing community and town government efforts, but also that they are not transitory; rather they are durable and lasting, desirable goals. At this time, in 2023, there is no apparent need or movement to change direction of the original comprehensive plan's philosophy.

But this is a good opportunity to: 1) organize its goals into a useful framework to guide the revision of the Zoning Ordinances to be consistent with the stated beliefs in the comprehensive plan and the vision presented therein; 2) report on progress and/or achievements to date of satisfying the plan's goals, and 3) discuss the remaining goals with some possible strategies to achieve them.

Goals Re-categorized:

The 15 goals fall into three categories that, while not entirely mutually exclusive, identify distinct themes: **necessity**, **character**, and **environment**. Indeed some goals may have relevance in more than one category, but the categories help to bring focus to the zoning ordinance revision effort.

A) Necessity

The first six goals fall into a category best described as administrative or infrastructural necessities for the continued survival, vitality, and improvement of the Chebeague year-round and seasonal community. There may be some linkage to the zoning ordinance in terms of regulations covering town-owned and maintained infrastructure, but these goals are primarily financial and administrative in nature and have minimal relevance to zoning ordinance revisions.

Goal 1) Maintain the K-5 school

The Chebeague Island School is recognized as a vital element of the year-round community's sustainability. Maine coastal history has show repeatedly that when island schools close, the year-round community suffered, and, in too many cases, disappeared. This was rated as a high priority in the original comprehensive plan's public survey, and the recommendation was to "encourage families that include school age children to live on Chebeague by providing excellent education." This has remained a high priority on the island and has been addressed by achieving and maintaining an undeniably high level of quality in primary education services with commitments of substantial community volunteerism and budgetary funding. The school population has nevertheless declined significantly in recent years primarily because of relatively high housing costs and limited island employment opportunities. Ongoing affordable housing projects and completion of a daycare center are examples of efforts to address those issues.

Goal 2) Maintain mainland transportation linkages, and Goal 3) Maintain/build suitable wharfs & related parking

These two goals are discussed together as they are obviously linked. They were accorded a medium-high priority rating in the plan's public survey. Chebeague is served by Casco Bay Lines (out of Portland at the state pier on the western end of the island, Chebeague Transportation Company (CTC) at the Stone Wharf on the

eastern end of the island, and private vessels and commercial water taxis & barges at various points on the island.

The Town is committed to maintaining and improving the current landing facilities, while fostering continued positive relationships with marine transportation service providers and the mainland towns Cumberland and Yarmouth where parking and landing facilities are located. The Stone Wharf has been studied and proposals have been received that address needed repairs, capacity issues such as parking and traffic/pedestrian flow, barge ramp improvements, and sea level rise. Floats and ramps are being maintained or replaced as needed. Dredging is scheduled. CTC change its business structure to non-profit status allowing for reductions in taxes and increased eligibility for grant funding. A new ferry was commissioned and is now in service. While the goals have not been fully achieved, the projects under consideration will, combined with ongoing maintenance, ensure that Chebeague has more than adequate transportation between the island and the mainland for years to come.

Goal 4) Maintain/improve Town Public Safety services

This goal also received a high priority in the public survey. Fire and rescue are rightly viewed as vital to the island's livability and sustainability. Accordingly, the Town has replaced the fire trucks and ambulance as necessary, as well as investing in other firefighting and lifesaving equipment as needed. Current concerns are that there are insufficient numbers of volunteers necessitating hiring further employees and also that the current firehouse is inadequate. A facilities committee was established and is currently reviewing town-owned buildings. Efforts have begun to research and design a new fire station that would adequately house public safety equipment as well as provide sleeping quarters for employees.

Goal 5) Prepare 5-year capital improvement plan

This was a high priority goal in the public survey. The need for a "realistic capital plan" was expressed to provide funding reserves to meet anticipated long-term capital expenditures. This has obvious implications for Town public safety, public services, roads, solid waste management, and administration, as well as for transportation and communication services provided by others. Capital reserves are determined year by year as part of the annual budget, but thought is given by the Select Board to needs projected out a number of years. Given the substantial anticipated expenses on the Stone Wharf and a new fire station looming in the future, plus the fact that the current capital reserve additions account for 15% of the annual town budget, it is highly advisable that a well-researched and definitive long-term (5 years at a minimum, 10 would be better), rolling capital plan be written and adhered to. One way to achieve this goal would be to re-form the Finance Committee as defined by ordinance and give it the autonomy, and budget, necessary to work with the Select Board, Town Administrator, department representatives, and outside consultants (if necessary) to develop a valid long-term spending plan.

Goal 6) Improve electronic communications

Another high priority, and the recent pandemic experience made it even more urgent. Chebeague has recognized for years that its level of electronic communications services was woefully inadequate. Efforts to improve speed and bandwidth have been made by Chebeague.net, Axiom, and Consolidated, but these have been mere bandaids. The Town voted to work with Axiom to run fiber optic cable to every residence and business on the island in 2023. A plan has been made and approved, grants have been secured, and bonding is sought to construct a town-owned network that is paid for, over time, by subscriber fees and run by Axiom. The anticipated bandwidth is sufficient for the near future and likely can be expanded to meet future needs. By the end of the year, this goal will have been achieved.

B) Character

Goals 7 through 11 are primarily concerned with the elements of Chebeague that define its "character". They are more subjective and social in nature than the foregoing relatively objective, concrete, administrative goals, but are considered important aspects that make Chebeague the place it is and help achieve the future vision stated in the comprehensive plan. The final line in the vision statement summarizes a philosophy that underscores planning on Chebeague: "We preserve our past and our small-town character as we continue to plan for the Town's future."

A critical element of that planning effort is to craft a zoning ordinance that reflects the vision while providing regulatory guidelines that are fair, clear, and directed towards maintaining an island environment that reflects islanders' desire to preserve the aesthetics, ambience, lifestyle, and community ethic of a vibrant, small Maine coastal town.

Goal 7) Preserve the year-round community

This goal focused on policies that would promote an age-diverse, viable year-round community on Chebeague with an emphasis on fostering growth in the 18 – 40 age group. Strong mention was made of the importance of reliable, economic water transportation, quality of the island school, and improved electronic communication capabilities, as covered in the above-discussed goals 1, 2, 3, and 6. But the plan went on to stress the importance of promoting traditional and new island businesses, as well as the need for housing availability and affordability (housing is discussed in the section on goal 11, below).

A large portion of the plan's discussion of this goal focuses on traditional agricultural and forestry businesses, suggesting that zoning ordinances could be modified to reduce restrictions and/or limitations on timbering, wood product

manufacturing, and animal/crop husbandry. Any rewrite of the zoning ordinance should carefully consider modifications that remove unreasonably onerous provisions in the existing ordinance while still protecting the island's character and residential owners' right to peaceable enjoyment of their property. The plan stresses the need for preservation/protection of open space that may lend itself to agricultural/forestry activities. A rewritten zoning ordinance should contain provisions that promote retention of open space, such as requiring or encouraging open space development (clustering of residences) that preserves land in an undeveloped state. Also, it should be noted that the Planning Board has written an Open Space Plan for approval at Town Meeting that lays out policies and strategies to identify and preserve island open spaces.

The plan goes further, discussing the island economy and strongly suggesting new business enterprises be fostered by modifying the zoning ordinance to remove restrictions that may unduly hamper business creation and operation. Current permitted uses within the ordinance's Island Residential and Island Business Districts are relatively proscribed as they were inherited from suburban Cumberland and therefore may not be applicable to the island and its distinct economic and social needs. Any revision of the ordinance would have to balance the need for business growth with residential property owners' rights, and strike a reasonable balance that accommodates both. To that end, a set of well-defined performance standards (addressing, for example; noise, property value degradation, lighting, traffic, parking, and odor) should be assembled and used when permitting decisions are being made on business uses that are not specifically permitted in the zoning ordinance.

Goal 8) Maintain island natural and historical character

While this goal received relatively low prioritization in the public survey, its elements are important to the maintenance of island "character" that is an integral piece of the future vision statement. The zoning ordinance should contain provisions for the protection of important historical and archaeological resources. As well, a zoning ordinance could contain elements that protect architectural aesthetics in terms of size, design, and location of structures. Restrictions of this type are often contentious as they can impose on individual property rights. Consideration could be given to establishing "historic districts". Potential inclusion of any of the foregoing would involve substantial community involvement and discussion.

Goal 9) Produce Chebeague-specific zoning ordinances

There is an urgent need to rewrite the zoning ordinances. Much of the Shoreland Zoning Ordinance (separated from the original Zoning Ordinance in 2018) is impacted directly by state rules and regulations, but needs review for specific details that may run counter to island needs and desires. The Zoning Ordinance that

covers the lands outside of the shoreland zone was inherited from Cumberland when Chebeague seceded in 2007. As such, it is a suburban ordinance modified to account for and promote the island's fishing industry but has residential and business development restrictions and provisions that are either inappropriate for the island, obsolete, or internally inconsistent. The plan had a specific goal of a simplified rewritten zoning ordinance as a strategy for achieving the important goals to fulfill the stated vision, by having one unified zoning district permitting. An important companion to simplified and unified zoning would be "performance standards" for any proposed business enterprise or construction project that, combined with thorough Board of Appeals or Planning Board review, would protect both neighbors' property rights and the island's character. Also suggested were revisions to the subdivision ordinance for the purposes of simplification and encouragement of preservation of open space. Further, it was suggested that the current 1.5 acre minimum residential zoning standard be retained.

The Planning Board's revision of the zoning ordinances is underway and a primary focus over the next two years. Simplified, consistent, and island-appropriate zoning ordinances will be presented to the Town for discussion, editing, and eventual approval at Town Meeting.

Goal 10) Maintain traditional maritime and agricultural employment

As part of the over-arching goal of maintaining the island's character as well as recognition of the importance to the island economy of traditional farming and fishing enterprises, this goal was accorded high priority in the original plan's citizens' survey. While the plan made many suggestions as to how these enterprises could be fostered, a recurring theme emerged that zoning could be modified to remove barriers to timber harvesting and agriculture. The planned ordinance revision will take this into account, again balancing the need for viable enterprise maintenance and growth with residential property owners' concerns and needs. Also, maintaining the maritime industry and associated employment requires vigilant enforcement of Chebeague's shoreland zoning ordinance to protect the waters and ocean bottom around the islands. While burdensome or inconsistent requirements should be modified or eliminated from the ordinance, the revision process should make sure that adequate protections remain in place to protect the resource. As aquaculture is rapidly growing in importance and looks destined to become a permanent maritime business sector on Chebeague, the ordinances should be reviewed to make certain that there are neither onerous restrictions on the enterprises nor obvious areas that need zoning regulation, although much of the regulation is already state-initiated and controlled.

Goal 11) Increase affordable housing

Affordable housing remains a strong concern for the island in its desire to retain and attract younger, working families thereby assuring the continued viability of a year-round island population. Over the past two decades there have been two affordable

housing projects and more are under consideration. Maine, like much of the nation, is experiencing a housing shortage and an affordability crisis. Two non-profits on the island are exploring potential projects aided by the cooperation of Town government, availability of public, funding, and private donations.

Elements of the zoning ordinance can be enhanced to promote the creation of affordable housing. Cluster development, simultaneously permitting both increased density and open space preservation, is one zoning tool that may be employed. Similarly, reduced limitations on accessory dwelling units and multifamily residential development can be considered in a revised zoning ordinance. The state legislature has passed LD 2003 which addresses some of the foregoing issues and essentially mandates that Maine towns incorporate these development strategies in their ordinances. The law will take effect in the summer of 2023, although a bill is currently pending to delay implementation until 2025 to allow towns time to review and rewrite their zoning ordinances. Clearly, the revision of Chebeague's zoning ordinance must carefully look at, and reduce as practically possible, any restrictions or limitations on the reasonable creation of affordable housing.

C) Environment

The remaining goals 12 through 15 are environmental in nature, primarily dealing with ground and ocean water resources, solid waste management, and climate change impacts. These goals relate to the importance of protecting the island fishery and aquaculture industry, as well as promoting public health and safety.

Goal 12) *Protect the aquifer*

Goal 13) *Regulate sub-surface disposal systems and pesticide use*

These two goals are interrelated and inseparable, so are considered together. Most of the plan's suggestions revolved around monitoring and studying the island's water resources. Implicit in the plan's focus is that the water resource is both extremely important and very vulnerable to human-related degradation. The zoning ordinance revision must consider carefully those provisions that deal with wells, septic systems, run-off & drainage requirements, pesticide use, and shoreland development limitations to ensure protection of this vital and endangered resource, strengthening them where appropriate.

Goal 14) *Regulate solid waste disposal*

Solid waste is not only a costly item in the Town's annual budget, but if unregulated can present a health hazard as well as detracting from the traditional aesthetic nature of the island community as described in the original comprehensive plan. The plan calls for continued monitoring of the old landfill and efficient non-polluting collection, compacting, and off-island shipment of solid waste. The zoning ordinance revision could make sure that aquifer protections as mentioned in the discussion of

goals 12 and 13 apply to the Town's landfill, brush dump, and solid waste operation as well.

Further, the zoning ordinance be reviewed and revised if necessary to prohibit environmentally hazardous or dangerous solid waste disposal on private or public property. This concept could be extended to hazardous and unsightly derelict structures and unregistered or abandoned vehicles, heavy equipment, and vessels.

Goal 15) Adopt climate adaptation strategies

The comprehensive plan was mute as to the impacts of climate change on the island. It was very concerned with aquifer quality and quantity, mainland access, protection of shoreland areas, and maintaining the maritime industries. All of these are vulnerable to the impacts of rising sea levels caused by ongoing climate change, and therefore the authors of the 2015 draft update of the comprehensive plan made climate adaptation a goal. The proposed revision of the zoning ordinance needs to look carefully at the regulations governing the shoreland zone as well as those dealing with the aquifer and make sure that climate impacts and land use strategies to deal with them are fully part of the zoning ordinance.

Summary:

The original Chebeague Comprehensive Plan written in 2011 continues to represent what the community desires with respect to the physical and social aspects of the island. The original, lengthy set of goals have been re-categorized into groups that reflect aspects of the future vision of Chebeague stated in the plan. Many have been addressed or are "works in progress", but serve as ongoing guides for island decision-making efforts. Many of the goals are strongly related to, and impacted by, the zoning ordinances that are in need of simplification, modernization, clarification, and being made more relevant to the needs and desires of the island community. Using the goals, as well as the detailed suggestions in the original comprehensive plan, the Planning Board should embark on a revision of the zoning ordinances that will match the community's ethic and promote the vision of the plan.

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 1300 Admin & Board of Selectman							
1000 Wages - Full Time T.A, Bookkeeper, Clerk, Deputy Clerk. Recommended 3%COLA adjustment.	160,400.00	151,422.00	167,523.00	149,681.45	233,626.00	66,103.00	39.46%
1010 Wages- Part time Custodian	17,888.00	26,884.00	29,960.00	16,074.94	3,120.00	-26,840.00	-89.59%
1110 Elected Officials	6,000.00	6,000.00	6,000.00	2,400.00	6,000.00	0.00	.00%
1300 Bank Fees	500.00	500.00	300.00	124.85	300.00	0.00	.00%
2010 Gasoline	1,100.00	1,000.00	1,000.00	475.00	1,000.00	0.00	.00%
2030 Telephone	3,200.00	3,200.00	3,200.00	2,432.04	3,400.00	200.00	6.25%
2041 Technology Annual Cost \$28,300. One time cost of \$4,995 for TRIO Web Hosting.	18,600.00	20,010.00	31,236.00	29,338.97	33,000.00	1,764.00	5.65%
3010 Advertising	900.00	900.00	900.00	368.00	900.00	0.00	.00%
3140 Membership Dues	3,500.00	3,500.00	3,700.00	3,707.64	3,700.00	0.00	.00%
3160 Miscellaneous Expenses	450.00	5,650.61	450.00	0.00	450.00	0.00	.00%
3202 Janitorial	500.00	250.00	250.00	640.46	250.00	0.00	.00%
3210 Postage	2,400.00	2,000.00	2,000.00	1,480.95	2,000.00	0.00	.00%
3220 Printing	2,500.00	1,800.00	1,800.00	1,569.13	1,800.00	0.00	.00%
3250 Reg of Deeds	500.00	500.00	500.00	190.00	250.00	-250.00	-50.00%
3300 Office Supplies	4,000.00	4,000.00	4,000.00	4,393.30	4,000.00	0.00	.00%
3335 Travel	8,500.00	4,000.00	3,000.00	2,795.62	3,000.00	0.00	.00%
3405 Meetings at Hall	4,000.00	4,000.00	4,000.00	2,000.00	4,000.00	0.00	.00%
4000 Building Maintenance One time \$1,000 purchase of AC unit to be replaced.	500.00	500.00	500.00	1,312.07	1,500.00	1,000.00	200.00%
4010 Rental of Equipment	3,000.00	3,000.00	1,000.00	600.98	1,000.00	0.00	.00%
5000 Contract Services Add \$10,000 to contract with Mitch	5,000.00	5,000.00	5,000.00	3,456.56	15,000.00	10,000.00	200.00%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 1300 Admin & Board of Selectman CONT'D							
5010 Audit	10,000.00	18,000.00	17,250.00	21,350.00	17,250.00	0.00	.00%
5240 Training	1,500.00	1,500.00	1,500.00	880.39	1,500.00	0.00	.00%
Admin & Board of Selectman	254,938.00	263,616.61	285,069.00	245,272.35	337,046.00	51,977.00	18.23%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 1400 Assessor							
3250 Reg of Deeds	250.00	250.00	250.00	99.00	250.00	0.00	.00%
3390 Assessing Maps	1,000.00	1,800.00	1,800.00	0.00	1,800.00	0.00	.00%
5000 Contract Services	12,000.00	12,000.00	12,600.00	5,200.00	12,600.00	0.00	.00%
Assessor	13,250.00	14,050.00	14,650.00	5,299.00	14,650.00	0.00	.00%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 1650 Elections/Bd Regis.							
1010 Wages- Part time	1,000.00	1,000.00	1,000.00	1,029.89	1,000.00	0.00	.00%
Elections/Bd Regis.	1,000.00	1,000.00	1,000.00	1,029.89	1,000.00	0.00	.00%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 1700 Planning							
1070 Geographic Information Sy	500.00	500.00	0.00	550.00	550.00	550.00	100.00%
3010 Advertising	200.00	200.00	200.00	0.00	200.00	0.00	.00%
3210 Postage	100.00	100.00	100.00	0.00	100.00	0.00	.00%
3240 Publications	50.00	50.00	50.00	0.00	50.00	0.00	.00%
5090 Consulting	5,650.00	5,650.00	3,000.00	0.00	3,000.00	0.00	.00%
5240 Training	0.00	0.00	175.00	0.00	175.00	0.00	.00%
MMA training							
Planning	6,500.00	6,500.00	3,525.00	550.00	4,075.00	550.00	15.60%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 1900 Legal Services							
5540 General Admin.	10,000.00	10,000.00	23,000.00	9,287.75	23,000.00	0.00	.00%
Legal Services	10,000.00	10,000.00	23,000.00	9,287.75	23,000.00	0.00	.00%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 2100 Law Enforcement Services							
1010 Wages- Part time Parking Attendant. 3% COLA adjustment.	8,528.00	8,528.00	8,653.00	5,398.18	8,910.00	257.00	2.97%
2010 Gasoline	1,400.00	1,400.00	1,400.00	787.72	1,400.00	0.00	.00%
3335 Travel	1,500.00	1,500.00	1,300.00	970.90	1,300.00	0.00	.00%
5000 Contract Services Sheriff Contract, Internet, Rich Plumbing, Cottage Rental	38,820.00	41,572.00	45,382.00	44,896.53	41,800.00	-3,582.00	-7.89%
Law Enforcement Services	50,248.00	53,000.00	56,735.00	52,053.33	53,410.00	-3,325.00	-5.86%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 2200 Fire & Rescue Services							
1010 Wages- Part time	49,770.00	72,028.00	74,028.00	45,228.14	52,750.00	-21,278.00	-28.74%
1135 Stipend	0.00	0.00	0.00	0.00	21,300.00	21,300.00	100.00%
2000 Electricity	4,000.00	4,000.00	3,000.00	155.43	3,000.00	0.00	.00%
2010 Gasoline	300.00	600.00	750.00	179.75	750.00	0.00	.00%
2020 Heating Fuel	6,500.00	6,500.00	5,500.00	7,906.00	5,500.00	0.00	.00%
2030 Telephone	2,100.00	2,100.00	2,100.00	1,563.35	3,000.00	900.00	42.86%
2041 Technology	0.00	0.00	2,500.00	1,844.69	610.00	-1,890.00	-75.60%
2080 Diesel	700.00	700.00	550.00	150.90	550.00	0.00	.00%
3040 Equipment Maint.	11,000.00	12,000.00	15,000.00	15,641.55	18,600.00	3,600.00	24.00%
3140 Membership Dues	1,300.00	1,300.00	1,300.00	0.00	2,470.00	1,170.00	90.00%
3200 Firefighting/Rescue Supplies	7,500.00	7,500.00	5,500.00	7,113.72	6,000.00	500.00	9.09%
3202 Janitorial	65.00	65.00	65.00	15.98	65.00	0.00	.00%
3300 Office Supplies	0.00	0.00	0.00	185.67	0.00	0.00	.00%
3335 Travel	2,600.00	3,700.00	2,000.00	353.52	3,000.00	1,000.00	50.00%
3350 Uniforms & Clothing	100.00	250.00	250.00	-2,846.22	250.00	0.00	.00%
4000 Building Maintenance	4,000.00	4,000.00	4,000.00	2,341.09	4,000.00	0.00	.00%
5000 Contract Services	13,100.00	13,200.00	13,200.00	8,410.15	13,200.00	0.00	.00%
5240 Training	7,000.00	7,000.00	7,000.00	3,970.16	7,000.00	0.00	.00%
6110 Communication	5,000.00	7,500.00	7,500.00	6,800.57	7,500.00	0.00	.00%
6230 Apparel / Gear	2,100.00	1,500.00	1,500.00	3,296.22	1,500.00	0.00	.00%
Fire & Rescue Services	117,135.00	143,943.00	145,743.00	102,310.67	151,045.00	5,302.00	3.64%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 2400 Code Enforcement							
1010 Wages- Part time	26,460.00	28,080.00	40,000.00	27,155.00	50,000.00	10,000.00	25.00%
2030 Telephone	0.00	0.00	0.00	0.00	900.00	900.00	100.00%
2041 Technology	0.00	0.00	0.00	0.00	5,000.00	5,000.00	100.00%
3140 Membership Dues	0.00	0.00	0.00	0.00	100.00	100.00	100.00%
3240 Publications	0.00	0.00	0.00	0.00	1,500.00	1,500.00	100.00%
5240 Training	0.00	0.00	255.00	0.00	250.00	-5.00	-1.96%
Code Enforcement	26,460.00	28,080.00	40,255.00	27,155.00	57,750.00	17,495.00	43.46%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 2500 Harbormaster & Shellfish							
1010 Wages- Part time	25,650.00	26,647.00	27,592.00	19,967.10	28,416.00	824.00	2.99%
Based on 3% COLA Adjustment.							
2010 Gasoline	600.00	600.00	600.00	93.44	600.00	0.00	.00%
2030 Telephone	300.00	300.00	300.00	225.00	300.00	0.00	.00%
2041 Technology	0.00	0.00	1,085.00	1,850.00	1,085.00	0.00	.00%
Online Mooring Website- Annual Fee							
3040 Equipment Maint.	1,500.00	0.00	0.00	0.00	0.00	0.00	.00%
3120 Marine Supplies	200.00	500.00	500.00	278.00	500.00	0.00	.00%
3140 Membership Dues	125.00	150.00	150.00	0.00	150.00	0.00	.00%
3350 Uniforms & Clothing	150.00	150.00	150.00	0.00	150.00	0.00	.00%
5240 Training	750.00	750.00	750.00	0.00	750.00	0.00	.00%
Harbormaster & Shellfish	29,275.00	29,097.00	31,127.00	22,413.54	31,951.00	824.00	2.65%

4th Draft Budget Report

		Expense					Init Req vs	Init Req vs
		2022	2023	2024	2024	2025	Curr Bud	Curr Bud
		Budget	Budget	Budget	YTD	Initial	Change \$	Change %
<hr/>								
Dept: 2600 Animal Control								
1010 Wages- Part time		3,200.00	3,200.00	3,200.00	2,400.00	3,200.00	0.00	.00%
2030 Telephone		300.00	300.00	300.00	225.00	300.00	0.00	.00%
3160 Miscellaneous Expenses		500.00	500.00	100.00	35.00	100.00	0.00	.00%
3290 Shelter		500.00	500.00	500.00	566.28	500.00	0.00	.00%
3350 Uniforms & Clothing		150.00	150.00	150.00	0.00	150.00	0.00	.00%
5240 Training		600.00	600.00	600.00	0.00	600.00	0.00	.00%
	Animal Control	5,250.00	5,250.00	4,850.00	3,226.28	4,850.00	0.00	.00%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 3100 Public Services							
1000 Wages - Full Time	87,000.00	92,685.00	96,388.00	70,461.13	97,470.00	1,082.00	1.12%
Based on 3% COLA Adjustment.							
1010 Wages- Part time	4,500.00	3,500.00	3,500.00	450.50	3,500.00	0.00	.00%
1020 Overtime	8,000.00	5,000.00	5,000.00	1,618.48	5,000.00	0.00	.00%
2000 Electricity	2,000.00	2,000.00	2,000.00	249.63	2,000.00	0.00	.00%
2010 Gasoline	3,250.00	3,000.00	3,000.00	1,585.30	3,000.00	0.00	.00%
2020 Heating Fuel	5,000.00	3,200.00	3,200.00	3,697.58	3,200.00	0.00	.00%
2030 Telephone	1,200.00	1,000.00	1,000.00	882.70	1,000.00	0.00	.00%
2041 Technology	0.00	0.00	2,500.00	1,537.69	610.00	-1,890.00	-75.60%
2080 Diesel	8,000.00	8,000.00	8,000.00	8,660.90	8,000.00	0.00	.00%
3040 Equipment Maint.	17,000.00	20,000.00	17,000.00	11,897.34	17,000.00	0.00	.00%
3120 Marine Supplies	3,000.00	3,000.00	3,000.00	0.00	3,000.00	0.00	.00%
3202 Janitorial	500.00	500.00	100.00	0.00	100.00	0.00	.00%
3300 Office Supplies	200.00	200.00	200.00	466.19	200.00	0.00	.00%
3335 Travel	2,800.00	2,800.00	2,800.00	2,452.40	2,800.00	0.00	.00%
3350 Uniforms & Clothing	800.00	800.00	800.00	786.59	800.00	0.00	.00%
4000 Building Maintenance	2,500.00	4,000.00	2,000.00	1,781.94	2,000.00	0.00	.00%
4010 Rental of Equipment	8,700.00	8,700.00	0.00	0.00	0.00	0.00	.00%
4600 Cold Patch	6,000.00	5,000.00	2,500.00	2,914.80	2,500.00	0.00	.00%
4605 Culverts & Drainage	5,500.00	2,000.00	1,000.00	0.00	1,000.00	0.00	.00%
4630 Road Materials	18,000.00	15,000.00	15,000.00	1,572.00	12,000.00	-3,000.00	-20.00%
4640 Winter Road Materials	15,000.00	12,500.00	8,000.00	4,857.42	8,000.00	0.00	.00%
4645 Street Signs	500.00	0.00	0.00	0.00	500.00	500.00	100.00%
4650 Welding	1,200.00	0.00	0.00	0.00	0.00	0.00	.00%
5000 Contract Services	6,000.00	5,000.00	5,000.00	189.00	3,000.00	-2,000.00	-40.00%
5020 Barging	12,000.00	16,000.00	16,000.00	9,364.50	16,000.00	0.00	.00%
5230 Striping/Crosswalks	100.00	100.00	100.00	0.00	100.00	0.00	.00%

4th Draft Budget Report

	Expense					Init Req vs	Init Req vs
	2022	2023	2024	2024	2025	Curr Bud	Curr Bud
	Budget	Budget	Budget	YTD	Initial	Change \$	Change %
Dept: 3100 Public Services CONT'D							
5240 Training	500.00	500.00	500.00	0.00	500.00	0.00	.00%
6010 Tools	2,000.00	2,500.00	2,500.00	854.99	1,500.00	-1,000.00	-40.00%
6120 Safety Equipment	500.00	500.00	500.00	0.00	500.00	0.00	.00%
Public Services	221,750.00	217,485.00	201,588.00	126,281.08	195,280.00	-6,308.00	-3.13%

4th Draft Budget Report

	Expense						
	2022	2023	2024	2024	2025	Init Req vs	Init Req vs
	Budget	Budget	Budget	YTD	Initial	Curr Bud	Curr Bud
						Change \$	Change %
Dept: 3200 Solid Waste							
1010 Wages- Part time 2 Employees. Based on 3% COLA Adjustment.	36,700.00	40,207.00	41,055.00	22,461.78	45,000.00	3,945.00	9.61%
2000 Electricity	1,100.00	1,100.00	1,100.00	249.63	1,100.00	0.00	.00%
2030 Telephone \$300 added for cell phone reimbursement.	580.00	580.00	580.00	404.62	940.00	360.00	62.07%
3040 Equipment Maint.	1,800.00	1,800.00	2,000.00	2,099.47	2,000.00	0.00	.00%
3202 Janitorial	600.00	600.00	400.00	860.98	400.00	0.00	.00%
3350 Uniforms & Clothing	250.00	250.00	250.00	159.83	250.00	0.00	.00%
4000 Building Maintenance	1,300.00	1,300.00	750.00	0.00	750.00	0.00	.00%
4655 Chipping/Grinding Brush Chipping increase (\$20,900) and cost of barging (\$1,680)	20,000.00	20,000.00	22,582.00	22,760.00	22,582.00	0.00	.00%
5020 Barging	39,000.00	42,900.00	47,000.00	37,410.00	52,000.00	5,000.00	10.64%
5110 Hauling ECO Maine is raising prices. This line item still needs attention.	85,000.00	85,000.00	85,000.00	51,261.68	95,000.00	10,000.00	11.76%
5120 Chebeague Landfill Monito	500.00	9,000.00	576.00	595.00	11,280.00	10,704.00	1858.33%
5130 Hazardous Waste	6,500.00	6,500.00	6,000.00	207.93	6,000.00	0.00	.00%
5240 Training	650.00	650.00	650.00	455.90	1,000.00	350.00	53.85%
5251 Sanitation	2,000.00	2,000.00	3,500.00	1,150.00	3,500.00	0.00	.00%
Solid Waste	195,980.00	211,887.00	211,443.00	140,076.82	241,802.00	30,359.00	14.36%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 4400 Misc-Mainland							
9110 ..	22,094.00	22,978.00	23,897.00	23,897.00	24,853.00	956.00	4.00%
Annual payment to Yarmouth towards Cousins Repair Reserve.							
Misc-Mainland	22,094.00	22,978.00	23,897.00	23,897.00	24,853.00	956.00	4.00%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 4600 Contributions							
3150 Chebeague Island Library	25,000.00	25,000.00	25,000.00	31,750.00	25,000.00	0.00	.00%
3151 Community Center	34,500.00	34,500.00	38,500.00	19,250.00	37,200.00	-1,300.00	-3.38%
3164 Visiting Nurse and Hospice	1,250.00	1,000.00	1,000.00	1,000.00	1,646.00	646.00	64.60%
Visiting Nurse \$1,250. LifeFlight \$396							
3166 Island Council	7,000.00	7,000.00	7,000.00	7,000.00	7,000.00	0.00	.00%
3167 Chebeague Recreation Center	56,500.00	59,500.00	59,500.00	29,750.00	59,500.00	0.00	.00%
3168 CRC - Kids Place	20,000.00	20,000.00	20,000.00	10,000.00	30,000.00	10,000.00	50.00%
3169 Island Commons Resource Center	1,500.00	3,000.00	10,000.00	10,000.00	10,000.00	0.00	.00%
Contributions	145,750.00	150,000.00	161,000.00	108,750.00	170,346.00	9,346.00	5.80%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 5810 Genl Assistance							
3160 Miscellaneous Expenses	500.00	500.00	500.00	0.00	500.00	0.00	.00%
Genl Assistance	500.00	500.00	500.00	0.00	500.00	0.00	.00%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 5910 Health Services							
1010 Wages- Part time	2,000.00	2,000.00	2,000.00	1,500.00	2,000.00	0.00	.00%
Health Services	2,000.00	2,000.00	2,000.00	1,500.00	2,000.00	0.00	.00%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 6200 Cemetery							
1010 Wages- Part time	6,500.00	6,500.00	6,350.00	3,734.65	6,350.00	0.00	.00%
2010 Gasoline	250.00	250.00	250.00	135.44	250.00	0.00	.00%
3040 Equipment Maint.	500.00	500.00	500.00	11.99	500.00	0.00	.00%
3140 Membership Dues	50.00	50.00	50.00	0.00	50.00	0.00	.00%
3163 Cemetery general fund	600.00	600.00	600.00	150.18	600.00	0.00	.00%
5000 Contract Services	6,000.00	6,000.00	6,000.00	1,750.00	6,000.00	0.00	.00%
5240 Training	150.00	150.00	150.00	200.00	150.00	0.00	.00%
Cemetery	14,050.00	14,050.00	13,900.00	5,982.26	13,900.00	0.00	.00%

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Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 6900 Debt Service							
6500 Maine Bond Bank Interest	50,911.00	45,853.00	15,728.00	0.00	10,625.00	-5,103.00	-32.45%
6510 Maine Bond Bank Principal	161,719.00	169,183.00	177,178.00	177,178.00	185,852.00	8,674.00	4.90%
Day off date 11/1/27							
6511 MMB School Renovation Interest	38,100.00	36,568.00	35,027.00	35,026.72	34,245.00	-782.00	-2.23%
6512 MMB School Renovation Principa	80,250.00	80,250.00	80,250.00	80,250.00	80,250.00	0.00	.00%
Pay off date 11/1/38							
6516 MBB Plow Truck Interest	10,000.00	801.00	902.00	902.10	833.00	-69.00	-7.65%
6517 MBB Plow Truck Principal	0.00	20,667.00	20,667.00	20,666.67	20,667.00	0.00	.00%
Pay off date 11/1/27							
6520 MMB Broadband Interest	0.00	0.00	46,261.00	31,181.52	39,795.00	-6,466.00	-13.98%
Interest of \$35,957 added in the case the rest of the \$725 K is bonded							
6521 MMB Broadband Principal	0.00	0.00	12,500.00	12,500.00	38,342.00	25,842.00	206.74%
Pay off date 11/1/42							
6550 MMB Dredging Interest	0.00	0.00	8,408.00	8,408.33	6,928.00	-1,480.00	-17.60%
6551 MMB Dredging Principal	0.00	0.00	41,667.00	41,666.67	41,668.00	1.00	.00%
Pay off date 11/1/28							
Debt Service	340,980.00	353,322.00	438,588.00	407,780.01	459,205.00	20,617.00	4.70%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 7500 Benefits & Insurance							
1015 Pay Raises	10,000.00	10,000.00	0.00	0.00	10,000.00	10,000.00	100.00%
Bonus Pay to the Town employees who work over 24 hours.							
1210 Health/Life Insurance	97,000.00	106,760.00	103,703.00	75,325.94	103,703.00	0.00	.00%
1220 FICA / MEDICARE	35,000.00	35,810.00	38,971.00	26,469.54	38,971.00	0.00	.00%
1230 ICMA - Retirement	11,500.00	12,665.00	12,675.00	5,672.81	12,675.00	0.00	.00%
1270 Unemployment	2,412.00	2,500.00	2,500.00	2,257.50	2,500.00	0.00	.00%
1280 Workers Comp. Ins.	15,000.00	15,000.00	14,000.00	16,521.90	14,000.00	0.00	.00%
3060 Liability Insurance	26,000.00	26,000.00	22,542.00	34,804.00	22,542.00	0.00	.00%
Benefits & Insurance	196,912.00	208,735.00	194,391.00	161,051.69	204,391.00	10,000.00	5.14%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8000 School Debt and Contingency							
8807 Contingency	10,000.00	10,000.00	10,000.00	0.00	10,000.00	0.00	.00%
8900 Debt Service	134,035.00	127,641.00	134,364.00	134,363.73	107,923.00	-26,441.00	-19.68%
School Debt and Contingency	144,035.00	137,641.00	144,364.00	134,363.73	117,923.00	-26,441.00	-18.32%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8001 Office of the Superintendent							
8101 Superintendent Salaries	0.00	0.00	33,422.00	23,137.92	70,000.00	36,578.00	109.44%
8102 Secretaries Salaries	0.00	0.00	13,759.00	8,806.92	15,300.00	1,541.00	11.20%
8103 Health Insurance	0.00	0.00	10,963.00	7,307.04	11,512.00	549.00	5.01%
8104 FICA/Medicare	0.00	0.00	2,800.00	1,766.33	4,729.00	1,929.00	68.89%
8106 Worker's Compensation	0.00	0.00	3,000.00	0.00	3,000.00	0.00	.00%
8107 Conferences/Training	0.00	0.00	1,500.00	245.00	1,500.00	0.00	.00%
8110 Communications/Telephone	0.00	0.00	2,800.00	2,106.46	2,500.00	-300.00	-10.71%
8111 Postage	0.00	0.00	500.00	602.39	400.00	-100.00	-20.00%
8112 Advertising	0.00	0.00	400.00	594.17	700.00	300.00	75.00%
8113 Printing	0.00	0.00	1,200.00	498.81	500.00	-700.00	-58.33%
8114 Copier Supplies	0.00	0.00	300.00	269.07	300.00	0.00	.00%
8115 Equipment/Software	0.00	0.00	100.00	0.00	300.00	200.00	200.00%
8116 Travel	0.00	0.00	100.00	0.00	100.00	0.00	.00%
8117 Stipends	0.00	0.00	1,200.00	0.00	1,200.00	0.00	.00%
8118 FICA	0.00	0.00	92.00	0.00	92.00	0.00	.00%
8119 Legal	0.00	0.00	5,000.00	1,113.32	3,500.00	-1,500.00	-30.00%
8120 Insurance	0.00	0.00	3,000.00	0.00	3,400.00	400.00	13.33%
8121 Dues & Fees	0.00	0.00	500.00	524.37	500.00	0.00	.00%
8122 Miscellaneous	0.00	0.00	500.00	0.00	800.00	300.00	60.00%
8124 Unemployment Compensation	0.00	0.00	800.00	657.04	2,000.00	1,200.00	150.00%
Office of the Superintendent	0.00	0.00	81,936.00	47,628.84	122,333.00	40,397.00	49.30%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8002 Office of the Principal							
8201 Administrative Salaries	0.00	0.00	33,422.00	24,423.36	0.00	-33,422.00	-100.00%
8202 Secretary Salaries	0.00	0.00	13,759.00	9,460.02	15,300.00	1,541.00	11.20%
8203 Health Insurance	0.00	0.00	10,963.00	7,307.04	11,512.00	549.00	5.01%
8204 FICA/Medicare	0.00	0.00	2,800.00	1,873.79	586.00	-2,214.00	-79.07%
8207 Conferences	0.00	0.00	500.00	0.00	500.00	0.00	.00%
8208 Postage	0.00	0.00	100.00	0.00	100.00	0.00	.00%
8209 Printing	0.00	0.00	1,000.00	100.44	500.00	-500.00	-50.00%
8210 Supplies	0.00	0.00	300.00	287.48	300.00	0.00	.00%
8211 Copier Supplies	0.00	0.00	200.00	16.38	200.00	0.00	.00%
8212 Equipment/Repair	0.00	0.00	250.00	0.00	250.00	0.00	.00%
8213 Dues & Fees	0.00	0.00	900.00	425.00	500.00	-400.00	-44.44%
Office of the Principal	0.00	0.00	64,194.00	43,893.51	29,748.00	-34,446.00	-53.66%

4th Draft Budget Report

	Expense					Init Req vs	Init Req vs
	2022	2023	2024	2024	2025	Curr Bud	Curr Bud
	Budget	Budget	Budget	YTD	Initial	Change \$	Change %
Dept: 8003 Elementary Education							
8300 Pre-K Program	0.00	0.00	35,663.00	43,438.20	0.00	-35,663.00	-100.00%
8301 K-2 Teacher's Salaries	0.00	0.00	62,931.00	62,176.47	86,431.00	23,500.00	37.34%
8302 3-5 Teacher's Salaries	0.00	0.00	77,311.00	8,692.29	103,781.00	26,470.00	34.24%
8303 Ed Tech Salaries	0.00	0.00	28,407.00	18,463.00	23,929.00	-4,478.00	-15.76%
8304 Temporary Salaries	0.00	0.00	2,000.00	0.00	2,000.00	0.00	.00%
8305 Health Insurance	0.00	0.00	43,847.00	14,614.08	34,536.00	-9,311.00	-21.24%
8306 FICA/Medicare	0.00	0.00	11,000.00	8,608.67	14,300.00	3,300.00	30.00%
8309 Assessment Testing	0.00	0.00	500.00	0.00	500.00	0.00	.00%
8310 General Supplies	0.00	0.00	5,000.00	2,695.27	5,000.00	0.00	.00%
8311 Travel Reimbursement	0.00	0.00	750.00	0.00	750.00	0.00	.00%
8312 Books & Periodicals	0.00	0.00	1,500.00	510.05	1,500.00	0.00	.00%
8313 Audio-Visual Materials	0.00	0.00	500.00	440.00	500.00	0.00	.00%
8314 Equipment	0.00	0.00	250.00	0.00	0.00	-250.00	-100.00%
8316 Copier Lease	0.00	0.00	500.00	80.59	0.00	-500.00	-100.00%
8318 MS Tuition	0.00	0.00	87,303.00	67,686.25	45,726.00	-41,577.00	-47.62%
8319 Secondary Tuition	0.00	0.00	214,617.00	243,947.86	240,858.00	26,241.00	12.23%
Elementary Education	0.00	0.00	572,079.00	471,352.73	559,811.00	-12,268.00	-2.14%

4th Draft Budget Report

		Expense					Init Req vs	Init Req vs
		2022	2023	2024	2024	2025	Curr Bud	Curr Bud
		Budget	Budget	Budget	YTD	Initial	Change \$	Change %
Dept: 8004 Student and Staff Support								
8401	Course Reimbursement	0.00	0.00	6,200.00	0.00	6,396.00	196.00	3.16%
8402	Other Professional Services	0.00	0.00	2,000.00	-200.00	1,000.00	-1,000.00	-50.00%
8403	Other Professional Services	0.00	0.00	4,000.00	4,000.00	4,000.00	0.00	.00%
8404	Technology Equipment	0.00	0.00	500.00	198.56	500.00	0.00	.00%
8405	Other Purchased Services	0.00	0.00	1,000.00	744.96	1,000.00	0.00	.00%
8406	Software	0.00	0.00	250.00	28.97	1,000.00	750.00	300.00%
8407	Repair	0.00	0.00	500.00	0.00	200.00	-300.00	-60.00%
8408	Regular Stipend	0.00	0.00	12,000.00	5,700.00	19,500.00	7,500.00	62.50%
8409	FICA/Medicare	0.00	0.00	550.00	0.00	1,500.00	950.00	172.73%
8413	Supplies	0.00	0.00	500.00	144.83	0.00	-500.00	-100.00%
8414	Books & Periodicals	0.00	0.00	100.00	0.00	100.00	0.00	.00%
8415	Regular Salaries	0.00	0.00	500.00	0.00	500.00	0.00	.00%
8419	Supplies	0.00	0.00	100.00	76.55	100.00	0.00	.00%
	Student and Staff Support	0.00	0.00	28,200.00	10,693.87	35,796.00	7,596.00	26.94%

4th Draft Budget Report

	Expense						
	2022	2023	2024	2024	2025	Init Req vs	Init Req vs
	Budget	Budget	Budget	YTD	Initial	Curr Bud	Curr Bud
						Change \$	Change %
Dept: 8005 Special Education							
8501 Teacher's Salaries	0.00	0.00	31,963.00	-490.18	64,444.00	32,481.00	101.62%
8502 FICA/Medicare	0.00	0.00	4,200.00	580.75	4,428.00	228.00	5.43%
8503 Ed Tech Salaries	0.00	0.00	0.00	7,064.96	23,929.00	23,929.00	100.00%
8504 Worker's Compensation	0.00	0.00	500.00	0.00	500.00	0.00	.00%
8505 Test Scoring	0.00	0.00	0.00	867.68	0.00	0.00	.00%
8506 Other Professional Services	0.00	0.00	45,550.00	77,047.29	42,800.00	-2,750.00	-6.04%
8507 Extended Year Program	0.00	0.00	7,530.00	1,721.25	6,460.00	-1,070.00	-14.21%
8508 Supplies	0.00	0.00	250.00	179.95	250.00	0.00	.00%
8509 Testing Supplies	0.00	0.00	250.00	1,502.00	250.00	0.00	.00%
8510 Books & Periodicals	0.00	0.00	100.00	0.00	100.00	0.00	.00%
8515 Health Insurance	0.00	0.00	10,963.00	867.68	11,512.00	549.00	5.01%
8517 Special Educ. Transportation	0.00	0.00	0.00	29,978.74	0.00	0.00	.00%
8518 SpEd Middle School Tuition	0.00	0.00	58,275.00	0.00	57,740.00	-535.00	-.92%
8519 SpEd Secondary Tuition	0.00	0.00	2,500.00	0.00	5,671.00	3,171.00	126.84%
Special Education	0.00	0.00	162,081.00	119,320.12	218,084.00	56,003.00	34.55%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8006 Facilities and Maintenance							
8601 Regular Salaries	0.00	0.00	16,603.00	10,519.78	15,812.00	-791.00	-4.76%
8602 Health Insurance	0.00	0.00	5,482.00	3,653.52	5,757.00	275.00	5.02%
8603 FICA/Medicare	0.00	0.00	1,050.00	1,193.45	1,210.00	160.00	15.24%
8606 Conferences	0.00	0.00	500.00	199.48	500.00	0.00	.00%
8607 Other Contracted Services	0.00	0.00	10,000.00	9,662.37	10,000.00	0.00	.00%
8608 Repair & Maintenance	0.00	0.00	7,500.00	14,729.91	7,500.00	0.00	.00%
8609 Rent for Building CIRC	0.00	0.00	8,000.00	8,000.00	0.00	-8,000.00	-100.00%
8611 Insurance	0.00	0.00	2,500.00	2,785.00	2,500.00	0.00	.00%
8612 Supplies	0.00	0.00	2,500.00	204.47	2,500.00	0.00	.00%
8613 Electricity	0.00	0.00	4,500.00	405.30	4,000.00	-500.00	-11.11%
8614 Fuel Oil	0.00	0.00	4,200.00	4,410.05	4,200.00	0.00	.00%
8617 Contracted Services	0.00	0.00	7,500.00	550.00	7,500.00	0.00	.00%
Facilities and Maintenance	0.00	0.00	70,335.00	56,313.33	61,479.00	-8,856.00	-12.59%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8007 Transportation and Buses							
8701 Salaries	0.00	0.00	25,155.00	19,778.37	27,536.00	2,381.00	9.47%
8702 Substitute Salaries	0.00	0.00	500.00	0.00	500.00	0.00	.00%
8703 Health Insurance	0.00	0.00	10,963.00	7,307.04	11,512.00	549.00	5.01%
8704 FICA/Medicare	0.00	0.00	1,900.00	1,117.48	2,146.00	246.00	12.95%
8707 Purchased Professional Service	0.00	0.00	64,500.00	51,592.42	62,000.00	-2,500.00	-3.88%
8708 Repairs	0.00	0.00	12,000.00	7,119.66	10,000.00	-2,000.00	-16.67%
8709 Auto Insurance	0.00	0.00	3,000.00	0.00	2,500.00	-500.00	-16.67%
8711 Fuel	0.00	0.00	5,000.00	2,598.50	6,000.00	1,000.00	20.00%
Transportation and Buses	0.00	0.00	123,018.00	89,513.47	122,194.00	-824.00	-.67%

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Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8008 Food Services							
8801 Regular Salaries	0.00	0.00	21,155.00	11,819.48	19,104.00	-2,051.00	-9.70%
8802 Health Insurance	0.00	0.00	5,482.00	5,480.28	5,475.00	-7.00	-.13%
8803 FICA/Medicare	0.00	0.00	1,600.00	893.85	1,462.00	-138.00	-8.62%
8805 Other Contracted Services	0.00	0.00	1,500.00	1,807.56	1,800.00	300.00	20.00%
8806 Supplies	0.00	0.00	7,000.00	6,306.08	7,500.00	500.00	7.14%
Food Services	0.00	0.00	36,737.00	26,307.25	35,341.00	-1,396.00	-3.80%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8100 Street Lights							
2000 Electricity	8,400.00	8,400.00	8,400.00	6,502.79	8,400.00	0.00	.00%
Street Lights	8,400.00	8,400.00	8,400.00	6,502.79	8,400.00	0.00	.00%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8300 Contingency							
3160 Miscellaneous Expenses	16,000.00	14,000.00	14,000.00	0.00	20,000.00	6,000.00	42.86%
Contingency	16,000.00	14,000.00	14,000.00	0.00	20,000.00	6,000.00	42.86%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8800 Tax paid to Cumberland							
0001 Out Isl tax paid to Cumberland	48,045.00	48,045.00	48,048.00	22,947.68	56,932.00	8,884.00	18.49%
Tax paid to Cumberland	48,045.00	48,045.00	48,048.00	22,947.68	56,932.00	8,884.00	18.49%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8900 County Tax							
3050 County Tax	162,283.00	171,517.00	216,527.00	216,527.00	214,624.00	-1,903.00	-.88%
County Tax	162,283.00	171,517.00	216,527.00	216,527.00	214,624.00	-1,903.00	-.88%

4th Draft Budget Report

Expense

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 9000 Capital Improvements							
9010 Dredging	0.00	100,000.00	80,000.00	0.00	0.00	-80,000.00	-100.00%
9015 Stone Wharf	0.00	110,000.00	100,000.00	0.00	200,000.00	100,000.00	100.00%
9016 Barge Ramps	0.00	0.00	20,000.00	0.00	20,000.00	0.00	.00%
9020 Floats and Ramps	0.00	0.00	5,000.00	0.00	15,000.00	10,000.00	200.00%
9025 Fire Department Reserve \$50K for new truck, \$7,500 radio replacement .	34,090.00	20,000.00	70,000.00	0.00	57,500.00	-12,500.00	-17.86%
9030 Building Facilities	0.00	10,000.00	20,000.00	0.00	40,000.00	20,000.00	100.00%
9031 New Town Office	10,000.00	10,000.00	10,000.00	0.00	10,000.00	0.00	.00%
9032 Land Acquisition & Development	0.00	10,000.00	10,000.00	0.00	10,000.00	0.00	.00%
9033 Solar Array Purchase	17,500.00	17,500.00	15,000.00	0.00	10,000.00	-5,000.00	-33.33%
9034 Broadband Reserve	40,000.00	0.00	0.00	0.00	0.00	0.00	.00%
9035 Vehicle Reserve	0.00	5,000.00	5,000.00	0.00	5,000.00	0.00	.00%
9040 Grant Matching Funds	0.00	0.00	20,000.00	0.00	20,000.00	0.00	.00%
9045 Revaluation Reserve	20,200.00	20,100.00	0.00	0.00	0.00	0.00	.00%
9050 Paving	125,000.00	175,000.00	25,000.00	0.00	25,000.00	0.00	.00%
9055 Public Works Equipment	10,000.00	50,000.00	25,000.00	0.00	10,000.00	-15,000.00	-60.00%
9057 Recycling Compactors	0.00	1,000.00	1,000.00	0.00	20,000.00	19,000.00	1900.00%
9058 Easements & Drainage	20,000.00	10,000.00	0.00	0.00	0.00	0.00	.00%
9070 Coastal Access Fund	1,500.00	2,000.00	10,000.00	0.00	10,000.00	0.00	.00%
9195 Indian Point Retaining Wall	65,000.00	0.00	0.00	0.00	0.00	0.00	.00%
Capital Improvements	343,290.00	540,600.00	416,000.00	0.00	452,500.00	36,500.00	8.77%
Expense Totals:	2,376,125.00	2,655,696.61	3,839,180.00	2,689,280.99	4,046,219.00	207,039.00	5.39%

4th Draft Budget Report

Revenue

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 1300 Admin & Board of Selectman							
302 AGENT FEE	3,000.00	3,500.00	5,000.00	3,107.00	5,000.00	0.00	.00%
303 EXCISE TAX	87,000.00	110,000.00	119,000.00	83,487.28	122,000.00	3,000.00	2.52%
304 BOAT EXCISE TAX	7,500.00	7,500.00	8,000.00	3,063.80	8,000.00	0.00	.00%
305 INTEREST & PENALTIES	2,500.00	5,000.00	4,500.00	10,489.99	4,500.00	0.00	.00%
307 LIEN COST	0.00	0.00	0.00	322.26	0.00	0.00	.00%
308 ABATEMENTS	0.00	0.00	0.00	-23,599.44	0.00	0.00	.00%
311 HUNTING & FISHING LIC	0.00	0.00	0.00	12.00	0.00	0.00	.00%
312 MARRIAGE LICENSES	0.00	0.00	0.00	36.00	0.00	0.00	.00%
315 CLERK LICENSES	0.00	0.00	0.00	20.00	0.00	0.00	.00%
316 SHELLFISH LICENSES	2,400.00	2,000.00	1,500.00	795.00	1,500.00	0.00	.00%
325 SUPPLEMENTAL TAX	0.00	0.00	0.00	335.70	3,428,441.00	3,428,441.00	100.00%
326 TAX COMMITMENT	2,947,784.00	3,165,639.00	3,225,695.00	3,264,893.67	0.00	-3,225,695.00	-100.00%
327 HOMESTEAD STATE REIMB REV	32,231.00	33,960.00	0.00	32,694.00	0.00	0.00	.00%
328 VETERANS EXEMPTION REIMB	0.00	0.00	0.00	50.00	0.00	0.00	.00%
330 TREE GROWTH REIMBURSEMENT	0.00	0.00	0.00	1,071.27	0.00	0.00	.00%
331 STATE REVENUE SHARING	27,500.00	38,802.00	36,731.00	29,122.10	41,255.00	4,524.00	12.32%
332 BETE REIMBURSEMENT	0.00	0.00	0.00	121.00	0.00	0.00	.00%
351 POLICE ISSUED FINES	2,400.00	0.00	0.00	2,319.00	0.00	0.00	.00%
364 GROWTH PERMITS	0.00	0.00	0.00	200.00	0.00	0.00	.00%
365 BOARD OF APPEALS	0.00	0.00	0.00	650.00	0.00	0.00	.00%
366 BUILDING PERMITS	3,000.00	12,000.00	15,000.00	12,717.30	15,000.00	0.00	.00%
367 ELECTRICAL PERMITS	800.00	1,000.00	1,500.00	2,831.89	1,500.00	0.00	.00%
368 PLUMBING PERMITS	1,500.00	2,300.00	2,500.00	2,195.00	2,500.00	0.00	.00%
369 OTHER PERMITS	0.00	0.00	500.00	690.00	500.00	0.00	.00%
378 EDUC-AID	70,698.00	55,184.00	73,343.00	91,294.57	73,343.00	0.00	.00%
379 INTEREST INCOME (checking)	2,500.00	0.00	0.00	17,497.59	5,000.00	5,000.00	100.00%
390 MISC REVENUE	0.00	0.00	0.00	46.85	0.00	0.00	.00%

4th Draft Budget Report

Revenue

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 1300 Admin & Board of Selectman CONT'D							
395 UNDESIGNATED FUND TRANSFER	120,000.00	175,000.00	200,000.00	0.00	250,000.00	50,000.00	25.00%
401 DOG REVENUE	0.00	0.00	0.00	321.00	0.00	0.00	.00%
403 MOORING FEES	3,500.00	5,000.00	7,200.00	4,960.00	7,200.00	0.00	.00%
411 URBAN RURAL INIT PROGRAM	15,000.00	14,964.00	14,880.00	17,160.00	14,880.00	0.00	.00%
418 CHEB. ISLAND SOLID WASTE	20,000.00	25,000.00	26,000.00	24,479.60	30,000.00	4,000.00	15.38%
500 RENTAL MOORING FEES	0.00	0.00	500.00	1,050.00	500.00	0.00	.00%
501 STONE WHARF PERMITS	5,500.00	7,500.00	8,600.00	1,308.00	8,600.00	0.00	.00%
502 TRANSIENT TIE-UP FEES	2,500.00	2,000.00	2,000.00	3,175.58	2,500.00	500.00	25.00%
511 CTC ESCROW - BLANCHARD LO	0.00	0.00	0.00	2,000.00	0.00	0.00	.00%
512 Copy Fee Revenue	0.00	0.00	0.00	258.40	0.00	0.00	.00%
Admin & Board of Selectman	3,357,313.00	3,666,349.00	3,752,449.00	3,591,176.41	4,022,219.00	269,770.00	7.19%

4th Draft Budget Report

Revenue

	2022 Budget	2023 Budget	2024 Budget	2024 YTD	2025 Initial	Init Req vs Curr Bud Change \$	Init Req vs Curr Bud Change %
Dept: 8000 School Debt and Contingency							
800 Lunch Money collected	0.00	0.00	5,000.00	7,065.69	5,000.00	0.00	.00%
805 School Undesignated Fund Trans	0.00	125,000.00	20,000.00	0.00	20,000.00	0.00	.00%
807 Misc School Revenue	0.00	0.00	0.00	391.00	0.00	0.00	.00%
School Debt and Contingency	0.00	125,000.00	25,000.00	7,456.69	25,000.00	0.00	.00%
Revenue Totals:	3,357,313.00	3,791,349.00	3,777,449.00	3,598,633.10	4,047,219.00	269,770.00	7.14%



Town of Chebeague Island
 For Period Ending February 29, 2024
 Date Prepared: March 1, 2024

Project/Fund Name	Balance	Deposits	Withdrawals	Total	Interest	Ending Balance
Interest Rate:					1.75%	
Interest Posted:					\$2,484.44	
9197 School Capital Reserve	\$ 66,096.23			\$ 66,096.23	\$ 93.05	\$ 66,189.28
9130 School special Education Reserve	\$ 144,608.37			\$ 144,608.37	\$ 203.50	\$ 144,811.96
9131 School Transportation Reserve	\$ 51,038.91			\$ 51,038.91	\$ 71.85	\$ 51,110.76
9132 School Tuition Reserve	\$ 84,608.09			\$ 84,608.09	\$ 119.11	\$ 84,727.20
9133 School Playground	\$ 7,405.65			\$ 7,405.65	\$ 10.43	\$ 7,416.08
9012 Fire Pond	\$ 4,934.22			\$ 4,934.22	\$ 6.95	\$ 4,941.17
9025 Fire Department	\$ 147,181.43			\$ 147,181.43	\$ 207.21	\$ 147,388.64
9060 Harbor Master Vessel & Equip	\$ 6,658.73			\$ 6,658.73	\$ 9.37	\$ 6,668.10
9192 Rescue Vehicles & Equipment	\$ 99.10			\$ 99.10	\$ 0.14	\$ 99.24
9010 Dredging	\$ 130,578.88			\$ 130,578.88	\$ 183.83	\$ 130,762.71
9015 Stone Wharf	\$ 363,614.81			\$ 363,614.81	\$ 511.92	\$ 364,126.73
9016 Barge Ramps	\$ 30,792.46			\$ 30,792.46	\$ 43.35	\$ 30,835.81
9020 Floats and Gangways	\$ 33,323.38			\$ 33,323.38	\$ 46.91	\$ 33,370.29
9035 Vehicles	\$ 13,523.27			\$ 13,523.27	\$ 19.04	\$ 13,542.31
9050 Paving	\$ 63,438.00			\$ 63,438.00	\$ 80.31	\$ 63,527.40
9055 Public Works Equipment	\$ 6,634.11			\$ 6,634.11	\$ 9.34	\$ 6,643.45
9198 Cousins Island Parking Reserve	\$ 24,430.23			\$ 24,430.23	\$ 34.39	\$ 24,464.62
9030 Building Facilities	\$ 46,467.14		\$ 1,419.00	\$ 45,048.14	\$ 63.42	\$ 45,111.56
9031 Town Office	\$ 44,319.28		\$ 27,747.00	\$ 16,572.28	\$ 23.63	\$ 16,595.61
9057 Recycling Compactor	\$ 2,037.59		\$ 2,000.00	\$ 37.59	\$ 0.05	\$ 37.64
9059 Cemetery Capital Reserve	\$ 6,896.62			\$ 6,896.62	\$ 9.71	\$ 6,906.33
Cemetery Perpetual Care	\$ 95,457.77			\$ 95,457.77	\$ 134.39	\$ 95,592.16
9034 Broadband Reserve	\$ 49,810.34			\$ 49,810.34	\$ 70.14	\$ 49,880.48
9033 Solar Array Purchase	\$ 79,225.21			\$ 79,225.21	\$ 111.54	\$ 79,336.75
9040 Revaluation	\$ 76,808.51			\$ 76,808.51	\$ 108.13	\$ 76,916.64
9040 Grant Matching Funds	\$ 48,616.06			\$ 48,616.06	\$ 68.44	\$ 48,684.50
9058 Easements & Drainage	\$ 83,723.03			\$ 83,723.03	\$ 117.87	\$ 83,840.90
9070 Coastal Access Fund	\$ 16,593.91		\$ 13,950.00	\$ 2,643.91	\$ 4.14	\$ 2,648.05
9195 Indian Point Retaining Wall	\$ 57,406.40			\$ 57,406.40	\$ 80.82	\$ 57,487.22
9032 Land Acquisition & Development	\$ 23,202.82			\$ 23,202.82	\$ 32.67	\$ 23,235.49
	\$ 1,809,530.64	\$ -	\$ 44,816.00	\$ 1,764,714.64	\$ 2,484.44	\$ 1,767,199.08